



Fayette
COUNTY

"WHERE QUALITY
IS A LIFESTYLE"

PURCHASING DEPARTMENT

140 STONEWALL AVENUE WEST, STE 204
FAYETTEVILLE, GEORGIA 30214
PHONE: 770-305-5420
www.fayettecountyga.gov

12/8/2017

Subject: Invitation to Bid: 1414-B: McCurry Park Restroom Construction

Gentlemen/Ladies:

Fayette County, Georgia is seeking bids for construction of a new restroom at McCurry Park. You are invited to submit a bid in accordance with the information contained herein.

A pre-bid conference will be held on Wednesday, December 20, 2017 at McCurry Park Softball Concession Stand, 146 McDonough Road, Fayetteville, Georgia 30214. You are invited and encouraged to attend, as this will be an opportunity for you to become more familiar with the project, and to ask questions.

Questions concerning this invitation to bid should be addressed to me in writing via email to PurchasingGroup@fayettecountyga.gov or fax to (770) 719-5208. Questions will be accepted until 5:00 pm, January 10, 2018.

Purchasing Department office hours are Monday through Friday 8:00 a.m. to 5:00 p.m. The office telephone number is (770) 305-5420.

Please return your response to the following address:

Fayette County Purchasing Department
140 Stonewall Avenue West, Suite 204
Fayetteville, Georgia 30214

Bid Number: 1414-B

Bid Name: McCurry Park Restroom Construction

Your envelope *must* be sealed, and should show your company's name and address.

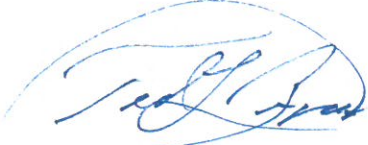
Bids will be received at the above address until 3:00 pm, Thursday, January 18, 2018 in the Purchasing Department, Suite 204. Bids will be opened at that time.

Bids must be signed to be considered. Late bids cannot be considered. Faxed bids cannot be considered.

If you download this invitation to bid from the county's web site, it will be your responsibility to check the web site for any addenda that might be issued for this solicitation. The county cannot not be responsible for a vendor not receiving information provided in any addendum.

Thank you for participating in the solicitation process.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ted L. Burgess", enclosed within a faint blue oval.

Ted L. Burgess
Director of Purchasing

ITB #1414-B: McCurry Park Restroom Construction

COMPANY INFORMATION

COMPANY

Company Name: _____

Physical Address: _____

Mailing Address (if different): _____

AUTHORIZED REPRESENTATIVE

Signature: _____

Printed or Typed Name: _____

Title: _____

Email Address: _____

Phone Number: _____ Fax Number: _____

PROJECT CONTACT PERSON

Name: _____

Title: _____

Office Number: _____ Cellular Number: _____

GENERAL TERMS AND CONDITIONS
ITB #1414-B: McCurry Park Restroom Construction

1. **Definitions:** The term “contractor” as used herein and elsewhere in these Terms and Conditions shall be used synonymously with the term “successful bidder.” The term “county” shall mean Fayette County, Georgia.
2. **Bid is Offer to Contract:** Each bid constitutes an offer to become legally bound to a contract with the county, incorporating the invitation to bid and the bidder’s bid. The binding offer includes compliance with all terms, conditions, special conditions, specifications, and requirements stated in the invitation to bid, except to the extent that a bidder takes written exception to such provisions. All such terms, conditions, special conditions, specifications, and requirements will form the basis of the contract. The bidder should take care to answer all questions and provide all requested information, and to note any exceptions in the bid submission. Failure to observe any of the instructions or conditions in this invitation to bid may result in rejection of the bid.
3. **Binding Offer:** Each bid shall constitute a firm offer that is binding for sixty (60) days from the date of the bid opening, unless the bidder takes exception to this provision in writing.
4. **Bidder’s Questions:** The Fayette County Purchasing Department must receive questions about this invitation to bid in writing at least six days before the scheduled bid opening, excluding Saturdays, Sundays, and holidays. The county will post answers to questions and/or other information concerning the invitation to bid in the form of an addendum on the county’s website at www.fayettecountyga.gov. It is the responsibility of the prospective bidder to check the website for any addenda issued for this invitation to bid.
5. **References:** Include with your bid a list of three (3) jobs that your company has done that are of the same or similar nature to the work described in this invitation to bid, on the form provided. Include all information as requested on the form.
6. **Bid Submission:** Submit your bid, along with any addenda issued by the county, in a sealed opaque envelope with the following information written on the outside of the envelope:
 - a. The bidder’s company name,
 - b. The bid number, which is **#1414-B**, and
 - c. The bid name, which is **McCurry Park Restroom Construction**

Mail or deliver one (1) unbound original bid (paper clip or binder clip acceptable, no staples please), signed in ink by a company official authorized to make a legal and binding offer, to:

Fayette County Government
Purchasing Department
140 Stonewall Avenue West, Suite 204
Fayetteville, GA 30214

Attention: Contracts Administrator

You may submit bids in person, by U.S. mail, or by a commercial carrier. Do not submit bids by facsimile, e-mail, or other electronic means. Once submitted, all bids become the property of Fayette County.

7. **Bid Preparation Costs:** The bidder shall bear all costs associated with preparing the bid.
8. **Late Bids:** Bids not received by the time and date of the scheduled bid opening will not be considered, unless the delay is a result of action or inaction by the county.
9. **More than One Bid:** Do not submit alternate bids or options, unless requested or authorized by the county in the Invitation to Bid. If a responder submits more than one bid without being requested or authorized to do so, the county may disqualify the bids from that responder, at the county's option.
10. **Bid Corrections or Withdrawals:** The bidder may correct a mistake, or withdraw a bid, before the bid opening by sending written notification to the Director of Purchasing. Bids may be withdrawn after the bid opening only with written authorization from the Director of Purchasing.
11. **Defects or Irregularities in Bids:** The county reserves the right to waive any defect or irregularity in any bid received. In case of an error in extension of prices or totals in the bid, the unit prices shall govern.
12. **Prices Held Firm:** Prices quoted shall be firm for the period of the contract, unless otherwise specified in the bid. All prices for commodities, supplies, equipment, or other products shall be quoted FOB Destination, Fayette County or job site.
13. **Brand Name:** If items in this invitation for bid have been identified, described or referenced by a brand name or trade name description, such identification is intended to be descriptive, but not restrictive and is to indicate the quality and characteristics of products that may be offered. Alternative products may be considered for award if clearly identified in the bid. Items offered must meet required specifications and must be of a quality which will adequately serve the use and purpose for which intended.
14. **Bidder Substitutions:** Bidders offering substitutions or deviations from specifications stated in the invitation to bid, shall list such substitutions or deviations on the "Exceptions to Specifications" sheet provided, or on a separate sheet to be submitted with the bid. The absence of such list shall indicate that the bidder has taken no exception to the specifications. The evaluation of bids and the determination as to equality and acceptability of products or services offered shall be the responsibility of the county.
15. **Samples:** When the county requires samples as part of the bid and vendor selection process, bidders must provide requested samples within the time allotted, and at no cost to the county unless otherwise specified. Any goods provided under contract shall conform to the sample submitted. The county will return samples only at the bidder's request, and at the bidder's expense, if they are not destroyed by testing.
16. **Non-Collusion:** By responding to this invitation to bid, the bidder represents that the bid is not made in connection with any competing bidder, supplier, or service provider submitting a separate

response to this invitation to bid, and is in all respects fair and without collusion or fraud.

17. **Bid Evaluation:** Award will be made to the lowest responsive, responsible bidder, taking into consideration payment terms, vendor qualifications and experience, quality, references, any exceptions listed, and/or other factors deemed relevant in making the award. The county may make such investigation as it deems necessary to determine the ability of the bidder to perform, and the bidder shall furnish to the county all information and data for this purpose as the county may request. The county reserves the right to reject any bid item, any bid, or all bids, and to re-advertise for bids.
18. **Discounts:** Cash discounts offered will be a consideration in awarding the bid, but only if they give the county at least 15 days from receipt of invoice to pay. For taking discounts, time will be computed from the date of acceptance at destination or the date a correct invoice is received, whichever is the later date. Payment is deemed made, for the purpose of earning the discount, on the date of the check. For payment of full invoice price, minimum terms of net 30 are preferred.
19. **Trade Secrets – Confidentiality:** If any person or entity submits a bid or proposal that contains trade secrets, an affidavit shall be included with the bid or proposal. The affidavit shall declare the specific included information which constitutes trade secrets. Any trade secrets must be either (1) placed in a separate envelope, clearly identified and marked as such, or (2) at a minimum, marked in the affidavit or an attached document explaining exactly where such information is, and otherwise marked, highlighted, or made plainly visible. See O.C.G.A. § 50-18-72 (A)(34).
20. **Trade Secrets – Internal Use:** In submitting a bid, the bidder agrees that the county may reveal any trade secret materials contained in the bid to all county staff and officials involved in the selection process, and to any outside consultant or other third parties who may assist in the selection process. The bidder agrees to hold harmless the county and each of its officers, employees, and agents from all costs, damages, and expenses incurred in connection with refusing to disclose any material which the bidder has designated as a trade secret.
21. **Ethics – Disclosure of Relationships:** Before a proposed contract in excess of \$10,000.00 is recommended for award to the Board of Commissioners or the County Administrator, or before the County renews, extends, or otherwise modifies a contract after it has been awarded, the contractor must disclose certain relationships with any County Commissioner or County Official, or their spouse, mother, father, grandparent, brother, sister, son or daughter related by blood, adoption, or marriage (including in-laws). A relationship that must be reported exists if any of these individuals is a director, officer, partner, or employee, or has a substantial financial interest in the business, as described in Fayette County Ordinance Chapter 2, Article IV, Division 3 (Code of Ethics).

If such relationship exists between your company and any individual mentioned above, relevant information must be presented in the form of a written letter to the Director of Purchasing. You must include the letter with any bid, proposal, or price quote you submit to the Purchasing Department.

In the event that a contractor fails to comply with this requirement, the County will take action as appropriate to the situation, which may include actions up to and including rejection of the bid or offer, cancellation of the contract in question, or debarment or suspension from award of a County contract for a period of up to three years.

22. **Contract Execution & Notice to Proceed:** After the Board of Commissioners makes an award, all required documents are received by the county, and the contract is fully executed with signature of both parties, the county will issue a written Notice to Proceed. The county shall not be liable for payment of any work done or any costs incurred by any bidder prior to the county issuing the Notice to Proceed.
23. **Unavailability of Funds:** This contract will terminate immediately and absolutely at such time as appropriated and otherwise unobligated funds are no longer available to satisfy the obligations of the county under the contract.
24. **Insurance:** The successful bidder shall procure and maintain the following insurance, to be in effect throughout the term of the contract, in at least the amounts and limits as follows:
- a. **General Liability Insurance:** \$1,000,000 combined single limit per occurrence, including bodily and personal injury, destruction of property, and contractual liability.
 - b. **Automobile Liability Insurance:** \$1,000,000 combined single limit each occurrence, including bodily injury and property damage liability.
 - c. **Worker's Compensation & Employer's Liability Insurance:** Workers Compensation as required by Georgia statute.
 - d. **Builder's "All Risk" Insurance:** In the event the contractor is performing construction services under the contract, contractor shall procure and maintain "all-risk" builder's insurance, providing coverage for the work performed under the contract, and the materials, equipment or other items incorporated therein, while the same are located at the construction site, stored off-site, or at the place of manufacture. The policy limit shall be at least 100% of the value of the contract, including any additional costs which are normally insured under such policy.

Before a contract with the successful bidder is executed, the successful bidder shall provide Certificates of Insurance for all required coverage. The successful offeror can provide the Certificate of Insurance after award of the contract, but it must be provided prior to execution of the contract document by both parties. The certificate shall list an additional insured as follows:

Fayette County, Georgia
140 Stonewall Avenue West
Fayetteville, GA 30214

25. **Bid Bond:** You must include a bid bond with your bid, equal to five percent (5%) of the total amount bid. Bid bonds shall be provided by a surety which appears on Georgia's list of approved sureties administered by the State Insurance Commissioner, or the U.S. Treasury's list of approved bond sureties (Circular 570).
26. **Performance and Payment Bonds:** Prior to execution of a contract, the successful bidder shall submit performance and payment bonds each equal to 100 percent of the contract value, provided by a surety which appears on Georgia's list of approved sureties administered by the State Insurance

Commissioner, or the U.S. Treasury's list of approved bond sureties (Circular 570).

27. **Unauthorized Performance:** The county will not compensate the contractor for work performed unless the work is authorized under the contract, as initially executed or as amended.
28. **Assignment of Contract:** Assignment of any contract resulting from this invitation to bid will not be authorized.
29. **Indemnification:** The contractor shall defend and indemnify the county and all its officers, agents and employees against any suits, actions, or other claims brought on account of any injuries or damages to any person, persons, or property resulting from any negligent act or fault of the contractor, or of any agent, employee, subcontractor or supplier in the performance of any contract which may be awarded. The contractor shall pay any judgment with cost which may be obtained against the county growing out of such injury or damages.
30. **Severability:** The invalidity of one or more of the phrases, sentences, clauses or sections contained in the contract shall not affect the validity of the remaining portion of the contract. If any provision of the contract is held to be unenforceable, then both parties shall be relieved of all obligations arising under such provision to the extent that the provision is unenforceable. In such case, the contract shall be deemed amended to the extent necessary to make it enforceable while preserving its intent.
31. **Termination for Cause:** The county may terminate the contract for cause by sending written notice to the contractor of the contractor's default in the performance of any term of this agreement. Termination shall be without prejudice to any of the county's rights or remedies by law.
32. **Termination for Convenience:** The county may terminate the contract for its convenience at any time with 10 days' written notice to the contractor. In the event of termination for convenience, the county will pay the contractor for services performed. The county will compensate partially completed performance based upon a signed statement of completion submitted by the contractor, which shall itemize each element of performance completed.
33. **Force Majeure:** Neither party shall be deemed to be in breach of the contract to the extent that performance of its obligations is delayed, restricted, or prevented by reason of any act of God, natural disaster, act of government, or any other act or condition beyond the reasonable control of the party in question.
34. **Governing Law:** This agreement shall be governed in accordance with the laws of the State of Georgia. The parties agree to submit to the jurisdiction in Georgia, and further agree that any cause of action arising under this agreement shall be required to be brought in the appropriate venue in Fayette County, Georgia.

INVITATION TO BID #1414-B
MCCURRY PARK RESTROOM PROJECT
AT A GUARANTEED MAXIMUM PRICE
FOR FAYETTE COUNTY, GEORGIA

I. INTRODUCTION & BACKGROUND

Fayette County is seeking Bids from qualified general contractors for the construction of a new concrete masonry unit (CMU) and wood-framed public restroom structure including a septic tank w/force main pumping sewage to an existing septic system at McCurry Park Complex in Fayette County, Georgia. Work will include all tasks associated with construction of the entire restroom facility including but not limited to installing a new electrical meter base and coordination with power company for final connection to the base, installing of the water shutoff valve and connection of the existing supply stub to the new building plumbing line, installing of the septic tank, pump (lift station) and force main for the sewer and installing & maintaining required silt fence around the entire perimeter of the site to contain silt within project limits. This 742 square foot, 1 story restroom facility will complement the architectural finishes of the existing restroom facilities located throughout the McCurry Park Complex.

II. AGREEMENT

AGREEMENT

Name and Address of Contractor:

Contract No. _____

Date of Contract: _____

McCURRY PARK RESTROOM FACILITY

This Guaranteed Maximum Price Contract (the "Contract") is made and entered into by and between FAYETTE COUNTY, GA, a political subdivision of the State of Georgia (the "County") and _____ (hereinafter "Contractor"), organized and existing under the laws of the State of Georgia, with its principal offices in _____. This Contract is for the McCurry Park restroom Facility Project (the "Project").

WITNESSETH

WHEREAS, Fayette County desires that the Contractor furnish construction services more particularly described in the contract documents specified below; and

WHEREAS, the Contractor represents their willingness and ability to provide these services;

NOW THEREFORE, the parties do mutually agree as follows:

THE "CONTRACT"

This Contract shall include the following contract documents ("Contract Documents"), including all modifications thereof:

1. General Terms and Conditions
2. Contractor Affidavit under O.C.G.A. § 13-10-91(b)(1)
3. Bidder Responsibility & Responsiveness
Previous Experience with Projects of Similar Scope & Cost
4. Agreement
5. Scope of Work
6. Exceptions To Specifications
(Assumptions and Clarifications)
7. EXHIBIT A – Schedule of Values
Guaranteed Maximum Price Breakdown
8. Bidder's References
9. Company Information
10. Building Construction Plans dated 7-10-17
11. Construction Schedule dated _____

The Contract Documents shall be complementary and are intended to include and imply all items required for the proper execution and completion of the Work. Any item of Work mentioned in the specifications and not shown on the drawings, or shown on the drawings and not mentioned in the specifications, shall be provided as if shown and mentioned on both.

DEFINITIONS

Definitions applicable to this Contract are found in Item #1 of the General Terms and Conditions. The following additional definitions are applicable to this Contract:

- (a) The term "Architect" as it appears in the Contract Documents shall mean Technika Engineering & Design, LLC, having an office in Charleston, SC 29416. The "Architect" shall also include the structural, mechanical, electrical and other engineers, and all other consultants retained by the Architect to design the elements and observe the construction of a complete building structure and system.
- (b) The term "General Terms and Conditions" means the Fayette County, GA, General Terms and Conditions for All Construction Contracts.

STATEMENT OF WORK

- (a) The Contractor shall furnish all labor, equipment, material and supervision to complete the Work shown in the Contract Documents listed for this Project, in accordance with this Contract.
- (b) All prior negotiations and writings of every kind concerning the Work are considered null and void by this Contract, unless specifically included within the Contract Documents. Any changes in the provisions of this Contract, including changes in the Contract Documents, made following the execution of this Contract shall be made in writing by way of an executed Change Order, per the process set forth in the SCOPE OF WORK – GENERAL SPECIFICATIONS section.

AMOUNT OF CONTRACT - GUARANTEED MAXIMUM PRICE

- (a) Guaranteed Maximum Price and Contractor's Fee. The Contractor is to furnish all items required by the Contract Documents for proper completion of the Work. In full consideration for the performance of the Work and all other obligations of Contractor hereunder, Fayette County, Ga agrees to pay the Contractor a sum of money equal to the total of (a) the actual Cost of the Work as defined in the Contract (COST OF THE WORK - GMP CONTRACTS) of the General Terms and Conditions and (b) Contractor's fee of \$_____ (the "Contractor's Fee" or "Fee"), which sum is guaranteed not to exceed the sum of \$_____ (the "Guaranteed Maximum Price" or "GMP"); such GMP sum shall be increased or decreased for changes in the Work, as provided in paragraph (b) below and Item #30 of the General Specifications.
- (b) General Conditions. The Contractor guarantees that the actual cost of General Conditions shall not exceed the General Conditions amount identified in EXHIBIT A, Division 1, Guaranteed Maximum Price Breakdown and that all costs or expenses in excess of this amount shall be borne by the Contractor unless adjusted by Change Order. Individual Change Orders shall not include general conditions costs or expenses. Should a Change Order be required to adjust the General Conditions amount, the Contractor shall submit a Change Order for General Conditions only with supporting rationale.
- (c) Adjustment to Contractor's Fee. The Contractor is not entitled to fee on Change Orders, nor shall Change Orders cause any modification to the Contractor's Fee. However, if upon completion of the Work, the net of all Change Orders has resulted in an increase or decrease in the Guaranteed Maximum Price of \$10,000.00 or more, then Contractor's Fee shall be correspondingly increased or reduced in the amount of ten percent (10%) of the cost of such Change Order Work in excess of said \$10,000.00.
- (d) Payment Schedule. Contractor shall prepare and submit to Fayette County for their approval prior to the first application for payment a proposed schedule of values (trade breakdowns) and fee payment schedule which, upon written approval by Fayette County, shall be the basis for the Contractor's monthly application for payment.
- (e) Savings. Upon completion of the Work, a detailed and complete accounting shall be made by the Contractor to Fayette County of the Cost of the Work; and should the actual final cost, plus the Contractor's Fee, be less than the GMP, as adjusted pursuant to this Contract, the savings shall accrue one hundred percent (100%) to Fayette County and zero percent (0%) to Contractor. If, however, the actual final cost, plus the Contractor's Fee, exceeds the GMP, the excess shall be borne solely by Contractor.
- (f) Limitation of Markup. Contractor shall include in each subcontract a limitation on the markup which Subcontractors can include in Change Orders. The cumulative total of markup (subcontractor markup plus all lower-tier subcontractor markups) shall not exceed fifteen percent (15%) of the cost of the change.

III. SCOPE OF WORK

GENERAL SPECIFICATIONS

1. All work must be done in accordance with the applicable building codes:
 - International Building Code – 2012 Edition with Georgia State Amendments
 - International Residential Code- 2012 Edition w/Georgia State Amendments

- International Fire Code (IFC) – 2012 Edition with Georgia State Amendments
 - International Mechanical Code – 2012 Edition with Georgia State Amendments
 - International Fuel Gas Code – 2012 Edition with Georgia State Amendments
 - International Plumbing Code – 2012 Edition with Georgia State Amendments
 - National Electrical code – 2014 Edition with Georgia State Amendments
 - International Energy Conservation Code – 2009 Edition with 2011 & 2012 Georgia State Supplements & Amendments
 - Georgia Accessibility Code for Buildings Facilities (GAC) Chapter 120-3-20 Access to Use Public Facilities by Handicapped Persons effective June 11, 2012
2. All work must be done in accordance with the contract documents, which includes the plans and specifications.
 3. Additional Project Specifications are included on the projects plan sheets.
 4. Contractor is responsible for all geotechnical testing.
 5. Refer to plan sheet S.0 for all Special Inspection requirements.
 6. Refer to plan sheet A.1 for finish requirements.
 7. No NPDES monitoring is required.
 8. Additional excavation of unsuitable soils will be handled via change order.
 9. Temporary fence is not required: however, contractor is responsible for protecting their work and material stored on site from theft and vandalism. No additional payment will be made for stolen material or cleanup associated with vandalism. Measures should be put into place to keep pedestrians out of the work zone area.
 10. Contractor is solely responsible for using the plan dimensions to get area(s) of the building as needed for estimating purposes.
 11. The County's working hours are between 8:00am and 5:00pm. Any modification to those hours must be made in writing by the Contractor and accepted by Fayette County.
 12. Should there be any conflict between the International Building Code with the Georgia State Amendments and the plan specifications, the plan specifications shall prevail. The contractor should notify the Owner immediately when such a conflict exists.
 13. Unless special instructions are noted within the contract documents, the Contractor shall supervise, coordinate and direct all the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures used to complete the work per the contract documents. The Contractor shall be responsible to the Owner for any acts and omissions of the Contractor's employees, Subcontractors and their agents and employees, or any other person or entity performing work for or on behalf of the Contractor or their subcontractors.

14. Ownership and Use of Drawings and Specifications

All drawings specifically produced for this project are copyrighted and will retain all common law, statutory and other reserved rights as indicated. The Contractor their subcontractor and/or supplier(s) shall not have any copyright claims to the project Drawings and specifications. The copying of contract documents for the purpose of the project is permitted and acceptable as it pertains to specifically meeting the needs of this project. No authorization is given for the contractor, subcontractors and/or suppliers to publish any of the contract documents for any other purpose outside of this project.

The Contractor and his hired affiliates are authorized within this contract to use and reproduce the plans and specifications as needed for purposes of the work. No copyright decal, stamp, wording, etc. shall be removed from any copies of the plans whether paper or electronic. No contract documents for this project may be used on another project or for additions to this project outside the scope of the work without specific written consent of the Owner or Architect, based on the document to be used.

15. **Permits & Fees:** The Contractor shall be responsible for completing the Permit Application and securing the necessary building permit. With this being a County Project, no fees will be charged for plan review and permitting by the Building Department. With exception to the waiver of fees noted above, the Contractor is responsible for paying any other project fees that may be required. The contractor is responsible for coordinating with the governing agencies to assure that required inspections are performed by the respective agency. Contractor or their subs are responsible for any re-inspection fees that may be required by the Building Department for work not initially done in accordance with the permit. Because the project scope entails less than 1-acre of land disturbance and adds less than 5,000sf of impervious area, plan review sign-offs are not required by Environmental Management and other typical plan approving Departments.
16. **Erosion Control:** The Contractor is responsible to ensure that all temporary and permanent erosion control Best Management Practices (BMP's) are implemented and maintained throughout project construction, and that all silt from the project is contained within the project limits. Fayette County Engineering Staff or Environmental Management inspectors are authorized to visit the site to ensure adequate measures are in place and are being maintained. It is the Contractors responsibility to comply and address any noted erosion control deficiencies. No additional compensation is due contractor for correcting or adding additional erosion control measures per noted deficiencies.
17. **Owner's Right To Carry Out the Work.** It is Fayette County's intent to assign all work to a single General Contractor. If the contractor fails to or refuses to perform the Work per the Contract Documents, and subsequently fails to aggressively move forward to correct the deficiency within a 14-day period as noted in written correspondence to the Contractor from Fayette County, the Owner, Fayette County may move forward without further communication to take immediate measures to correct such deficiencies. Subsequently, the Owner may recover reasonable cost incurred for this work from payment that otherwise was due the Contractor had they performed the work. Payments deducted may also include expenses Fayette County incurred by having to get assistance from the Architect to address and correct the default.
18. Fayette County maintains the right to perform other construction or construction related operations with the County's own forces within any portion of the project or to award a separate contract for other work within the facility that may be needed during this project. Should this occur, the contractor is to coordinate with the County or any other County contractor as is

reasonable to continue their efforts without impeding the efforts of other County directed contract work by others. If the Contractor can justify that this other work has impacted him financially and has extended his project schedule, Contractor may submit a Change Order request defining those cost and/or request for project time extension. Subsequently, if Fayette County can demonstrate that the Contractor has impeded the efforts of another County contractor by delaying work, failing to coordinate activities or by providing deficient construction efforts where there is overlapping work, the County can seek to recover those cost impacts from the Contractor.

19. **Project Safety:** Safety is given high priority on Fayette County projects. The Contractor and his team and any other person directly or indirectly associated with this project work shall comply with all applicable OSHA regulations, laws, statutes, codes, ordinances and rules that are in place to assure safety measures are implemented and maintained throughout the project to prevent injury or loss to persons or property during this project. In the event safety measures are not being complied with, Fayette County will issue a Stop Work Order to the Contractor, and will not permit work to continue until such time as all noted safety violation(s) have been addressed and corrected. Fayette County shall hold the Contractor fully responsible for correcting any damage or loss to property caused by the Contractor or his project team either performing work or supplying material on behalf of the Contractor on this project. The Contractor alone is fully responsible for any schedule delays, fines, penalties, etc. caused because safety measures were not being enforced by the Contractor's project team. Contractor is not liable for damage or loss resulting from the acts or omissions of Fayette County or the Architect.
20. During working hours, the contractor is responsible for roping off the entire work area and placing the appropriate signage to notify pedestrian traffic of the hazards within the work zone area. During non-working hours, the contractor is responsible for roping, flagging, placing signs, etc. as is reasonable and prudent to warn pedestrians of off limit hazardous areas.
21. **Project Schedule.** Fayette County requires the Contractor to have a project schedule and provide that schedule to Fayette County. The Contractor's schedule shall define the start and finish dates for the project, which the Contractor has determined is readily achievable by his project team to complete the work as contracted. Contract time is in calendar days unless otherwise specified. Once work has started, contractor shall continue to perform all needed work through completion of the project per the accepted schedule without extended delays or breaks. The Contractor is not responsible for delays that may extend his project schedule that are outside of his direct control such as weather, fire, change orders or change directives. The contractor shall update the schedule as required to reflect any owner accepted project finish date.
22. **Liquidated Damages:** Time is of the essence for services included in this contract. Because actual damages would be difficult to ascertain, liquidated damages of \$250.00 shall be deducted from the contract sum for each day the contractor is late in meeting the contracted completion date.
23. **A pre-bid conference will be held for this project.** Fayette County and the bidders will visit the project site to become generally familiar with local conditions under which the Work is to be performed and be provided the opportunity to ask project questions while on the project site.
24. **Pre-Existing Conditions.** Contractor is responsible for taking photos of all pre-existing damage/issues with the building, sidewalk, landscaping, etc. around or within the vicinity of their work and staging areas. These pictures should be submitted to Fayette County prior to mobilizing to the project site.

25. Dumpsters placed on site for the work should not be placed on sidewalk without protecting the sidewalk from cracking. Contractor shall be responsible for repairing all damaged sidewalk due to the work. The contractor is to police the grounds daily and clean up all trash and debris which will be disposed of in the jobsite dumpster supplied by contractor.
26. Contractor shall be aware of the project limits and shall plan his work and that of his subcontractors to stay within those limits. Established project limits are to be clearly marked by the Contractor so that his subcontractors, employees and others working on the project are notified and made aware of those limits. Contractor shall be held responsible for repairing or replacing, to equal or better condition, any damage done to real property, systems, landscaping, machines, equipment, etc. outside the project limits.
27. The grounds around the planned restroom contain a working sprinkler system that waters the existing grass and landscape bed areas. Fayette County does not have an as-built of this system. Fayette County will coordinate a date with contractor to mark each sprinkler head with a marking flag and to test the current condition and/or operation of the system. The contractor is responsible for any damage or repair to the system due to their work.
28. Contractor shall be responsible to provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, utilities and any other facilities and services necessary to complete the work as contracted. The Contractor shall ensure that good order and discipline are maintained by all their employees and their project team while carrying out the work. The Contractor shall have only skilled and qualified workers performing work on this project.
29. The Contractor is responsible for providing their own porta-johns for the use of the Contractor & their construction team. Fayette County is a smoke-free County. No smoking will be permitted inside any County facility and within the Kenwood Park grounds.
30. The Contractor is fully responsible, before mobilizing his team, to know and fully understand the scope of work contained within the contract documents and to compare it with actual field conditions. Contractor shall take responsible measures to be familiar with the field conditions and measurements at the project site and understand how it may affect the work. Contractor shall immediately report any discovered errors or omissions, or plan discrepancies by means of an RFI (Request for Information) to the County/Architect.
31. **Product Substitution:** The Contractor shall not substitute a product or material without the Owner/Architects review and acceptance and the Owners consent.
32. **Warranty.** All materials and equipment furnished under this contract shall be new and of good quality unless the Contract Documents specify or permit otherwise. All work done by the contractor or his team shall be done per the Contract Documents and will be free of defects. Work, materials, or equipment that does not meet the requirements of the contract documents will be defective. A minimum 1-year labor and material warranty is required for this project.
33. **Taxes.** All taxes associated with the Contractors work shall be included within the Contractor's bid. Contractor is responsible for any new taxes or additional taxes that have gone into effect after their bid at no expense to the County.
34. **Submittals.** Contractor is responsible for providing and submitting all shop drawings, product data and samples called for in the contract documents. Architect/County shall review all

submittals and return to contractor with any comments and/or an approval. It is the responsibility of the Contractor to provide the Architect/County with sufficient time to review each submittal and reply. Contractor is to maintain a log of all RFI submittals. Before forwarding to the Architect/County, submittals are to be approved by the Contractor and field verified that it works in the specified area. Work shall be done per the contract documents and the approved submittal.

- 35. Architect.** The Architect is the County's representative during construction of the work, and will make site visits as necessary to determine that work is being done per the Contract Documents. On behalf of Fayette County, the Architect can reject Work not done in accordance with the Contract Documents or require the Work be tested or inspected. The Architect will report to Fayette County known deviations from the Contract documents in addition to defects and deficiencies in the work. Fayette County will likewise have a field representative present from the Buildings & Grounds Department on a day-to-day basis to confirm the accuracy and completeness of the Work. The Architect and Owner will review Contractor Applications for Payment and certify the amounts due the contractor. Final decisions pertaining to aesthetic issues of concern will be made by the Architect/County. Architects/Countys decision is final if it fulfills the intent of the Contract documents.
- 36.** Any subcontractor that has a direct contract with the Contractor is bound to the Contractor by the terms of the Contract Documents any obligations and responsibilities thereof. The subcontractor has the benefits of taking action against the Contractor as the Contractor has against the owner per the Contract Documents.
- 37. Change Orders & Change Directives.** Fayette County may order changes in the general scope of the project without nullifying the contract. Changes made by the County may add to, delete from or revise the Contract Sum and the Contract Time. The process of Change Orders is to first submit in writing to the Architect. The Architect will review and make written recommendation to the Owner. The Owner is to provide final approval. No Change Order work is to be started without written approval from the Owner & Architect. All parties are to mutually agree as to total cost and time associated with the Change Order Work before work is started. Change Directives are initiated by the Owner & Architect. If a Change Directive is issued, the contractor is entitled to be paid for the labor, material, equipment, overhead & profit unless a lump sum agreement is accepted. If needed, the Architect will provide his estimate of cost for the Work. The Contractor is permitted to include that estimated cost for the work in the Contractor's monthly Application for Payment. Once a final agreement regarding price for the Change Directive is made, a Change Order will be prepared and subsequently approved by the Owner. Minor Architect initiated changes are acceptable if they do not affect project Contract cost or time, and meet the intent of the Contract Documents. Such minor Architectural changes are binding and shall be completed as quickly as possible by the Contractor. Hidden conditions that vary significantly materially beyond what is customary shall be sufficient grounds to develop a Change Order that the Owner & Contractor can mutually agree upon regarding adjustments to Contract Sum and Contract Time.
- 38. Project Allowances have been included in the project Schedule of Values.** This baseline amount is not for a specific item, but is available to the Owner and Architect to cover cost for items that were not covered in the contract plans & documents but are required for the successful completion of the project. Allowances payments will only be authorized with an approved change order or change directive that involves additional cost.

39. The Architect has provided and included an itemized list (Exhibit A) of the labor and material work to be accomplished on this project. The Contractor is responsible for providing their estimate of quantities and cost associated with each item of Work, which upon agreement from the Architect, will make up the entire Contract's Guaranteed Maximum Price. Contractor's Applications for Payment for completed work shall be based upon the agreed EXHIBIT A - Schedule of Values. The Contractor shall submit all backup documentation (such as payrolls, receipted invoices, cash disbursements made, etc.) along with each Application for payment. Each Application for Payment should include work completed by the contractor and/or the contractor's team through the date on the payment request. An agreed upon format shall be developed between the Owner, Architect and Contractor. Fayette County will allow payment for material delivered and suitably stored on site for the Work. However, the contractor is fully responsible for any damage or theft associated with that material. Owner will have to see and contractor will have to provide written validation for material stored offsite that Contractor has included in their Application for Payment. With each Application for payment, Contractor warrants that the owner's title to all work within that period is valid at the time of payment and has no liens, claims, security interest or other encumbrance tied to it.
40. When the Contractor's Application for Payment is received, the Architect is allowed 1-week to review the application and confirm that it is accurate to his satisfaction. Once the Architect agrees on the amount due the contractor, a Certificate for Payment will be issued to the owner for payment. If the Architect cannot substantiate the amount requested by the Contractor, he will provide written notification to the Contractor of the reason(s) for denying all or any portion thereof of the current Application for Payment. When the Architect issues a Certificate For Payment, he is making assessment that project work has progressed to and in accordance with the Contract Documents to the level indicated in the Application for Payment, and that the Contractor is likewise certifying payment in that amount. The Architect is to only certify that portion of payment to which he can agree. If the Architect cannot agree on the amount due, he shall notify the Contractor and Owner in an attempt to reach some agreement. If an impasse is encountered between the Contractor and the Architect on the amount due, the Architect shall issue a Certificate for Payment in the amount he can substantiate to the Owner. Such issues as unacceptable work, claims, non-payment to subs, overbilling, damage to owner or owner's sub, balance unable to cover liquidated damages, or work that continues to not meet the Contract documents are justifiable reasons to reduce the Application for payment, and not release the balance due until such time as the issue(s) have been corrected.
41. The Contractor agrees to pay his subcontractors within seven days after Contractor receives payment from Fayette County. This applies for work that subs completed and submitted the required paperwork to the Contractor by the established cutoff date to be included within the Application for Payment for that period. Fayette County or the Architect is not responsible for payment(s) to subcontractors for work completed on our project. Fayette County may decide to use or occupy space within the project before final acceptance of the work. Should this occur, the use of the space does not provide our acceptance of pending punch list items, unacceptable work or any other project work that was not completed in accordance with the Contract Documents.
42. **Substantial Completion:** A Certificate of Substantial Completion is issued by the Architect when work is complete to a level where the space can be used for its intended purpose. However, this completed work must comply with the requirements of the Contract Documents. The Contractor shall provide the Architect with an exhaustive list of pending items of work when requesting a Certificate of Final Completion. The Architect shall review the Contractors' list, inspect the project and confirm that the item(s) of Work remaining on the list, in addition to other items the

Architect may add, will not impede or hinder the Owner from occupying or using the project work for its intended purpose. If the Owner agrees to accept the entire project or any portion thereof for occupancy, the date for the Certificate of Substantial Completion can be set and issued. The Owner & Contractor must establish and provide written acceptance of all project closeout responsibilities and the timeline for completing all pending work items. Project warranties become effective on the date of Substantial Completion unless noted otherwise on the Certificate.

43. **Final Payment:** The Contractor shall notify the Architect that all project work is complete and ready for final acceptance. Also, the Contractor shall give to the Architect a final Application for Payment which shall include the release of project retainage. If the Architect agrees that all project work is completed in accordance with the terms and conditions of the Contract Documents, the Architect shall issue a final Certificate for Payment. This certifies to the owner that the Architect has inspected all contract work to his satisfaction and knowledge, and believes it was completed per the contract documents. The Architects acceptance Certifies that full and final payment of the balance noted within the Certificate of Payment is due the Contractor. Once the Contractor delivers to owner all lien release waivers of all liens filed under this contract for labor, materials and/or equipment, final payment then becomes due. Other options in lieu of a lien release must be first accepted by Fayette County. Fayette County reserves the option to reduce Final Certificate of Payment by all pending lien values, plus reasonable attorney fees until such a time as liens have been settled. Once Final payment is made by the Owner and accepted by the Contractor (his subcontractor or supplier), all rights for future claims are forfeited except those that are unsettled when final Application for Payment is made or are acceptable owner claims per the contract documents.
44. **Correction of Work:** Work that was identified by the Architect as defective and not performed in accordance with the Contract Documents shall be corrected by the Contractor or his project team within a reasonable period of time after being notified. The owner may move to correct the defective work upon written notice to the contractor that a reasonable time has elapsed since they were initially notified that work was to be corrected. Work that is not immediately corrected shall be removed from any current Application for Payment until such time as work is completed per the contract documents. If defective or corrective work is identified after Substantial Completion, the cost associated with completing that work continues to be the responsibility of the contractor.
45. The Contractor is to provide a minimum 1-year material & labor warranty for work completed under this contract. Any other product warranties required within this contract shall be provided when the project is substantially completed.

EXHIBIT A – SCHEDULE OF VALUES
GUARANTEED MAXIMUM PRICE BREAKDOWN

McCURRY PARK RESTROOM				
Contractor				
		Unit	Unit Cost	Total Cost
<u>Division 1 - General Requirements</u>	-			
	License, Permits & Fee	LS		\$ -
	Insurance	LS		\$ -
	Administration	LS		\$ -
	Superintendent Labor	LS		\$ -
	Demolition & Trash Removal	LS		\$ -
	Air Quality Management	LS		\$ -
	Temporary Facilities	LS		\$ -
	General Contractors Overhead & Profit	LS		\$ -
	Total General Requirements			\$ -
<u>Division 2 – Site Construction</u>				
	Site Remediation – Silt Fencing, grading, temporary seeding, etc.	LS		\$
	Install Septic Tank, Force Main, Lift Station, etc.	LS		\$
	Total Site Construction			\$ -
<u>Division 3 - Concrete</u>				
	Concrete	CY		\$ -
	Concrete Forming and Accessories	SY		\$ -
	Concrete Reinforcing	TON		\$ -
	Cast-in-place Concrete	CY		\$ -
	Total Concrete			\$ -
<u>Division 4 - Masonry</u>				
	Masonry	LS		\$ -
	Total Masonry			\$ -
<u>Division 5 - Metals</u>				
	Metals	LS		\$ -
	Total Metals			\$ -
<u>Division 6 - Wood and Plastics</u>				
	Woods, Plastics & Composites	SY		\$ -
	Rough Carpentry	LF		\$ -
	Finish Carpentry	LF		\$ -
	P-Lam Fabrication & Millwork	LS		\$ -
	Total Wood & Plastics			\$ -
<u>Division 7 – Thermal and Moisture Protection</u>				
	Damp proofing & Waterproofing	LS		\$ -
	Weather Barriers	SY		\$ -
	Flashing and Sheet Metal	SF		\$ -
	Joint Protection	LS		\$ -

	Total Thermal and Moisture Protection			\$ -
<u>Division 8 - Doors & Windows</u>				
	Wood Doors & Frames	EA		\$ -
	Windows	EA		\$ -
	Hardware	EA		\$ -
	Total Doors & Windows			\$ -
<u>Division 9 - Finishes</u>				
	Densglas Gold	SF		\$ -
	Plywood Ceiling	SF		\$ -
	Wall Finishes	SF		\$ -
	Floor Coating	SF		\$ -
	Total Finishes			\$ -
<u>Division 10 - Specialties</u>				
	Fire Extinguishers	EA		\$ -
	Total Specialties			\$ -
<u>Division 12 - Furnishings</u>				
	Total Furnishings			\$ -
<u>Division 15 - Mechanical</u>				
	Plumbing	LS		\$ -
	Fire Protection	LS		\$ -
	Heating, Ventilation & A/C	LS		\$ -
	Total Mechanical			\$ -
<u>Division 16 - Electrical</u>				
	Service/Distribution/complete material	LS		\$ -
	Total Electrical			\$ -
	Total Base Bid			\$ -
<u>Allowances</u>	Add -			\$ 10,000.00
	Total Allowances			\$ 10,000.00

Total including Base Bid & Allowance				\$ -
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Note: A 10% retainage will be withheld from each payment request until project has been signed by Fayette County as complete and accepted, in accordance with Georgia Code at O.C.G.A. 13-10-80 et. seq.

BUILDING CODES:

THE CURRENT STATE MINIMUM STANDARD CODES AS ADOPTED BY THE BOARD OF COMMUNITY AFFAIRS -

INTERNATIONAL BUILDING CODE 2012 EDITION / W/ GA AMENDMENTS 2014
INTERNATIONAL RESIDENTIAL CODE 2012 EDITION / W/ GA AMENDMENTS 2014
INTERNATIONAL FIRE CODE 2012 EDITION / W/ GA AMENDMENTS 2014
INTERNATIONAL PLUMBING CODE 2012 EDITION / W/ GA AMENDMENTS 2014
INTERNATIONAL MECHANICAL CODE 2012 EDITION / W/ GA AMENDMENTS 2014
INTERNATIONAL FUEL GAS CODE 2012 EDITION / W/ GA AMENDMENTS 2014
NATIONAL ELECTRICAL CODE 2014 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE 2009 EDITION / W/ GA SUPPLEMENTS AND AMENDMENTS 2011 & 2012

FOR INFORMATION AND QUESTIONS REGARDING THE LIFE SAFETY CODE (NFPA 101) OR THE GA ACCESSIBILITY CODE, CONTACT THE STATE FIRE MARSHAL'S OFFICE.

THE RULES AND REGULATIONS OF THE SAFETY FIRE COMMISSIONER CHAPTER 120-3.3 RULES AND REGULATIONS FOR THE STATE MINIMUM FIRE SAFETY STANDARD EFFECTIVE JAN. 1, 2015.

APPLICABLE REQUIREMENTS 6.1.14.2 IS REFERENCED FROM THE 2000 EDITION OF THE NFPA LIFE SAFETY CODE. THE CURRENT EDITION OF THE ADOPTED EDITION OF THE NFPA LIFE SAFETY CODE.

THE AMERICANS WITH DISABILITIES ACT OF 1990 (ADA) WAS SIGNED INTO LAW ON JULY 26, 1990 BY PRESIDENT GEORGE H.W. BUSH AND LATER AMENDED WITH CHANGES EFFECTIVE JAN. 1, 2009.

THE AMERICANS WITH DISABILITIES ACT GIVES CIVIL RIGHTS PROTECTIONS TO INDIVIDUALS WITH DISABILITIES SIMILAR TO THE PROTECTIONS PROVIDED TO INDIVIDUALS ON THE BASIS OF RACE, SEX, NATIONAL ORIGIN, AGE, AND RELIGION. IT GUARANTEES EQUAL OPPORTUNITIES FOR INDIVIDUALS WITH DISABILITIES IN PUBLIC ACCOMMODATIONS, EMPLOYMENT, TRANSPORTATION, STATE AND LOCAL GOVERNMENT SERVICES, TELECOMMUNICATIONS, AND IT ALSO APPLIES TO THE U.S. CONGRESS.

PROJECT DETAILS:

THE PROJECT CONSISTS OF A NEW CMU AND WOOD-FRAMED STRUCTURE TO SERVE AS A PUBLIC RESTROOM FACILITY AT THE EXISTING MC-CURRY PARK COMPLEX. THE BUILDING WILL CONSIST OF APPROXIMATELY 899 SQUARE FEET OF CONDITIONED SPACE HOUSING FIVE (5) TOILET FACILITIES ON THE WOMEN'S SIDE AND THREE (3) TOILETS / (2) URINALS ON THE MEN'S SIDE. THE OCCUPANT CLASSIFICATION FOR THE STANDALONE RESTROOM FACILITY HAS BEEN DETERMINED AS "U", AS IT IS AN ACCESSORY STRUCTURE NOT CLASSIFIED IN ANY SPECIFIC OCCUPANCY.

ALLOWABLE HEIGHT AND AREA:

<u>OCCUPANCY TYPE</u>	<u>CONSTRUCTION TYPE</u>	<u>ALLOWED</u>	<u>AREA</u>
(U) UTILITY	VB	40 FT MAX, 1 STORY	5,500SF

OCCUPANCY CALCULATIONS:

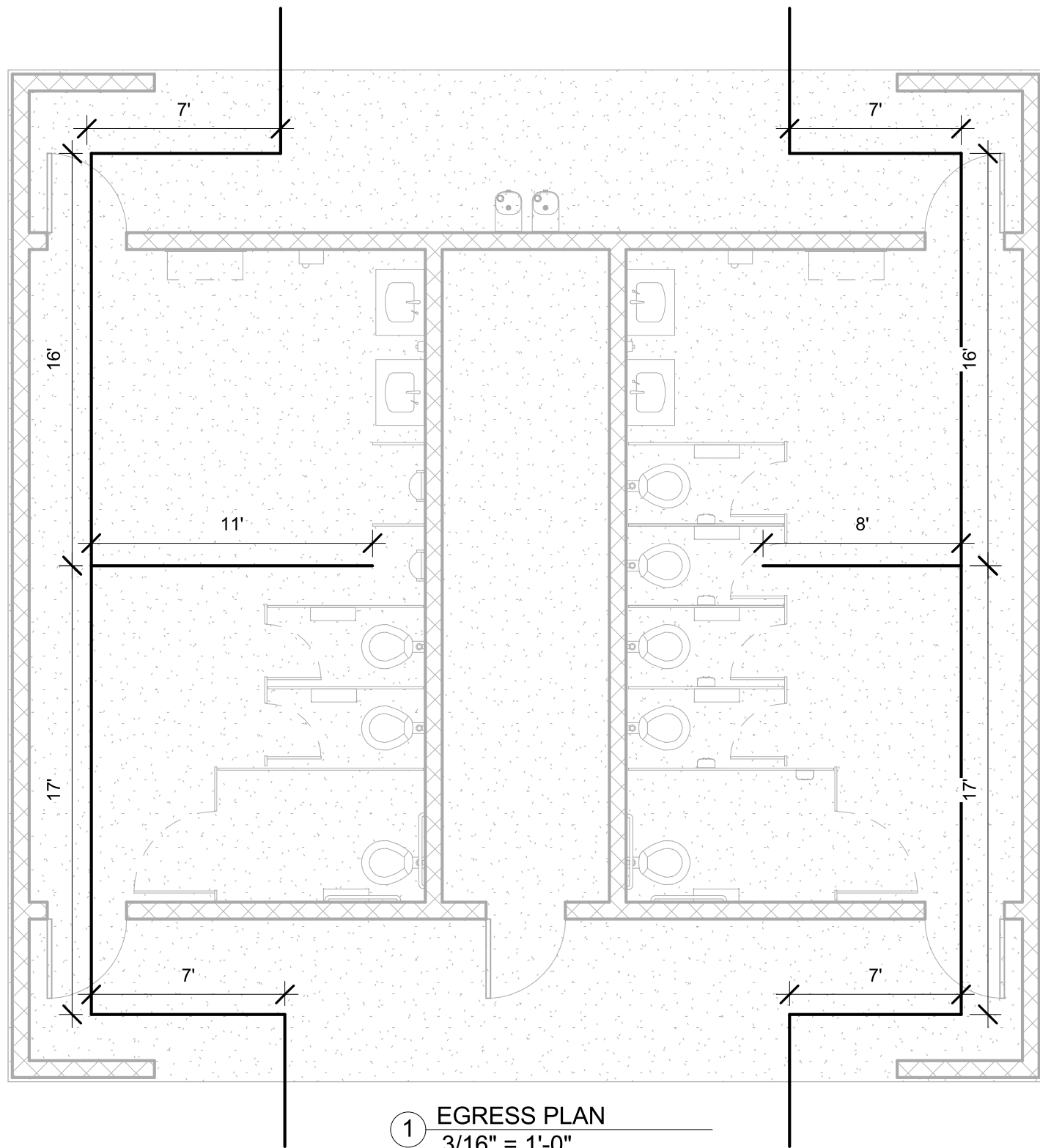
MAXIMUM OCCUPANCY OF STANDALONE RESTROOMS IN TERMS OF LIFE SAFETY AND EGRESS IS NOT CLEARLY DEFINED IN THE IBC 2012. THE FOLLOWING METHODOLOGY HAS BEEN USED TO DETERMINE THE MAXIMUM OCCUPANCY OF THE SPACE -

ASSIGN OCCUPANCY TYPE ASSEMBLY AND USE 10SF PER OCCUPANT, AN AVERAGE OF 5 SF PER PERSON FOR "STANDING SPACE" AND 15 SF PER OCCUPANT FOR "UNCONCENTRATED ASSEMBLY" PER TABLE 1004.1.1.
10 SF PER PERSON BASED ON NET FLOOR AREA (NET FLOOR AREA WILL EXCLUDE BATHROOM STALL AREA, AS THESE SPACES ARE INTENDED FOR SINGLE OCCUPANCY, AS WELL AS MECHANICAL AND ELECTRICAL SPACES, AS THESE ARE NOT NORMALLY OCCUPIED AT ALL).

NET FLOOR AREA IN BUILDING FOR OCCUPANTS = 742 SF
742 SF/ 10 SF PER PERSON = 74 = 74 OCCUPANTS MAXIMUM

PER TABLE 1016.2, FOR "U" OCCUPANCY IN UNSPRINKLERED BUILDING (EACH SIDE HAS TWO EXITS), MAXIMUM TRAVEL DISTANCE IS 300 FEET.

AS SHOWN IN EGRESS PLAN, MAXIMUM ACTUAL TRAVEL DISTANCE IS 35'.



① EGRESS PLAN
3/16" = 1'-0"

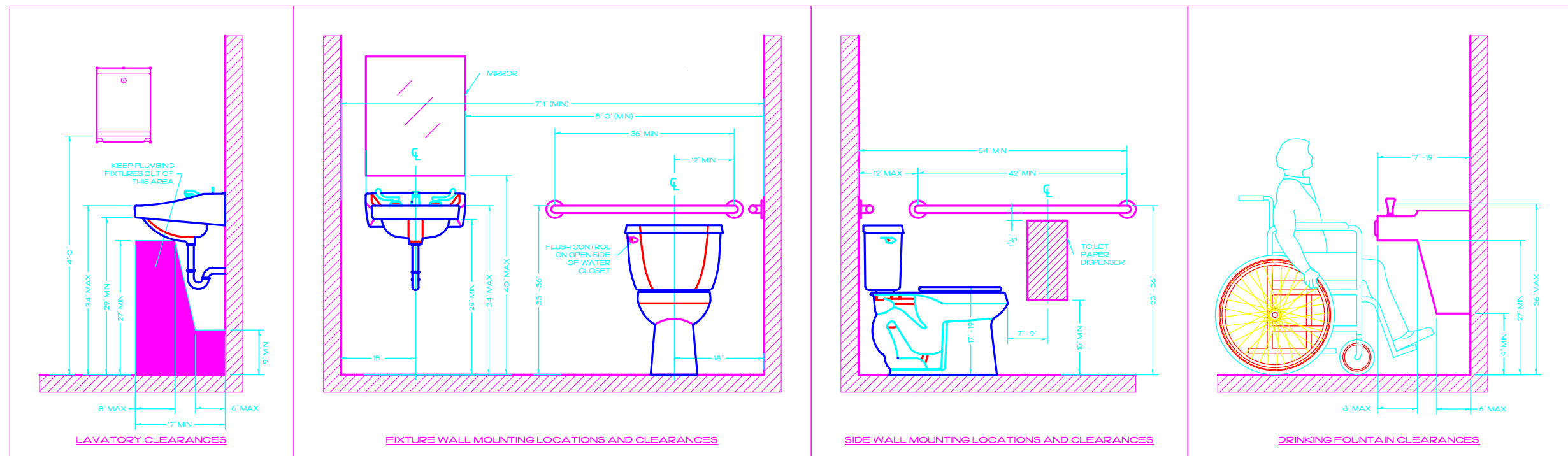
PROJECT DIRECTORY:

OWNER:
FAYETTE COUNTY
140 STONEWALL AVE WEST
SUITE 240
FAYETTEVILLE, GA 30214

ENGINEER / DESIGNER:
TECHNIKA ENGINEERING & DESIGN, LLC
PO BOX 80097
CHARLESTON, SC 29416

SHEET LIST

A.1	ARCHITECTURAL PLANS AND DETAILS
A.2	ELEVATIONS
S.0	STRUCTURAL NOTES
S.1	STRUCTURAL PLANS AND DETAILS
M.1	MECHANICAL PLAN AND NOTES
E.0	ELECTRICAL NOTES
E.1	ELECTRICAL PLANS AND SCHEDULES
P.0	NOTES AND DETAILS
P.1	PLUMBING PLANS



ADA RESTROOM DETAILS

INSULATION AND FINISH NOTES:

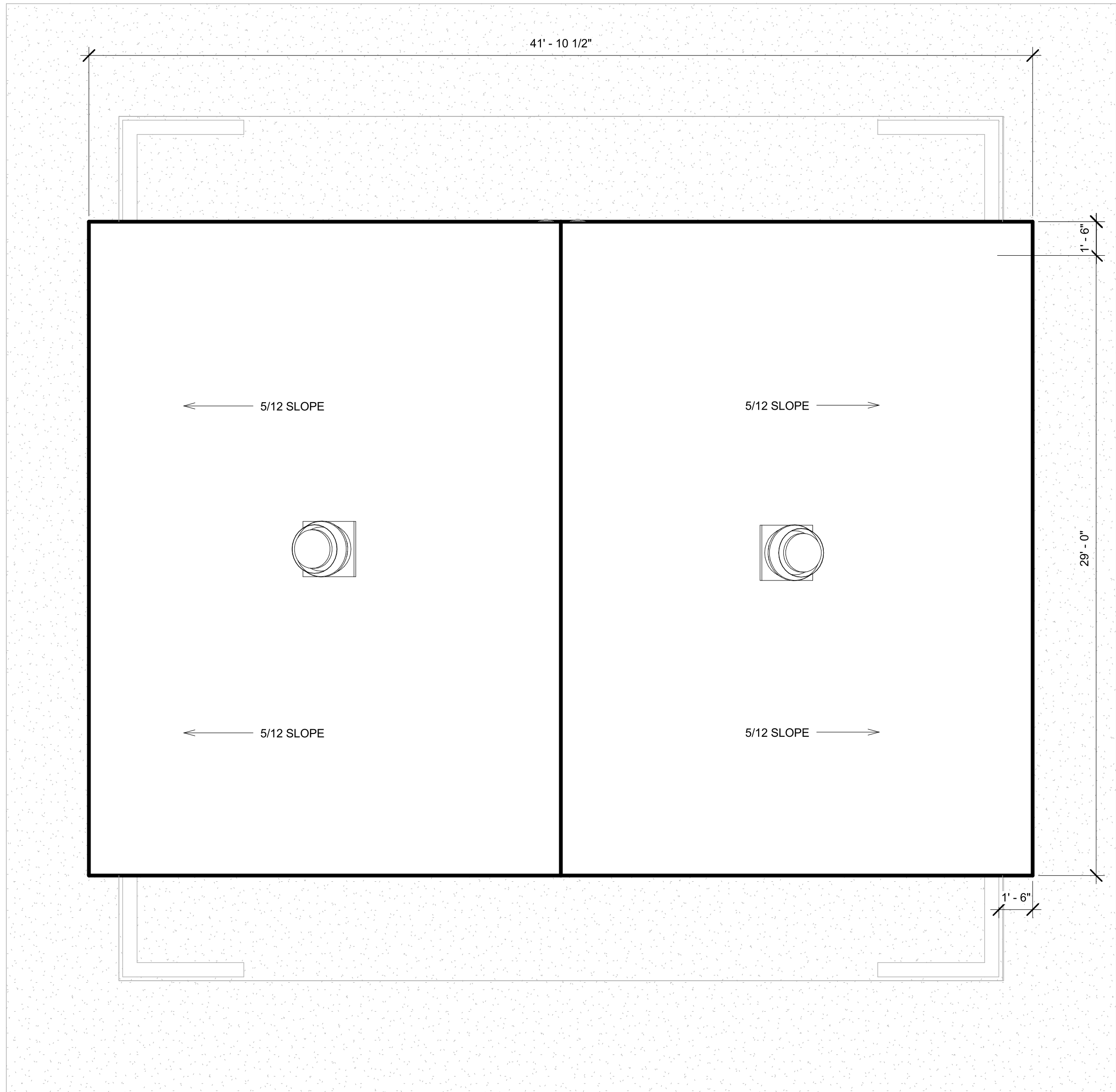
1. ALL INTERIOR AND EXTERIOR BATHROOM FINISHES TO MATCH EXISTING BUILDINGS AT MCCURRY PARK, UNLESS INSTRUCTED OTHERWISE BY THE OWNER. IT IS RECOMMENDED THAT CONTRACTOR VISIT THE BUILDING TO BE MATCHED TO BATHROOMS AT MCCURRY PARK.
2. GABLE END WALLS AND CEILINGS ARE TO BE INSULATED WITH W-19 FIBERGLASS BATT INSULATION, AND CLAD INSIDE WITH SANDED 1/2" PLYWOOD W/ 1/4"x1"x12" LATHE. PAINTED TO MATCH EXISTING RESTROOM BUILDING.
3. INTERIOR CMU WALLS TO BE PAINTED PARK GOLD TO MATCH EXISTING STRUCTURES ON THE PROPERTY. SLAB TO BE FINISHED WITH A STONEHARD, SEAMLESS EPOXY FLOORING SYSTEM PRODUCT PER THE OWNER.
4. ROOF SHALL BE BAKED FINISH STANDING SEAM METAL ROOF, GREEN COLOR, 26-GAUGE, MULTI-RIBBED ROOF PANELS AND TRIM MADE BY FABRAL OR MCLEROY METAL. SHEETS ARE TO BE 36" WIDE.

DOORS

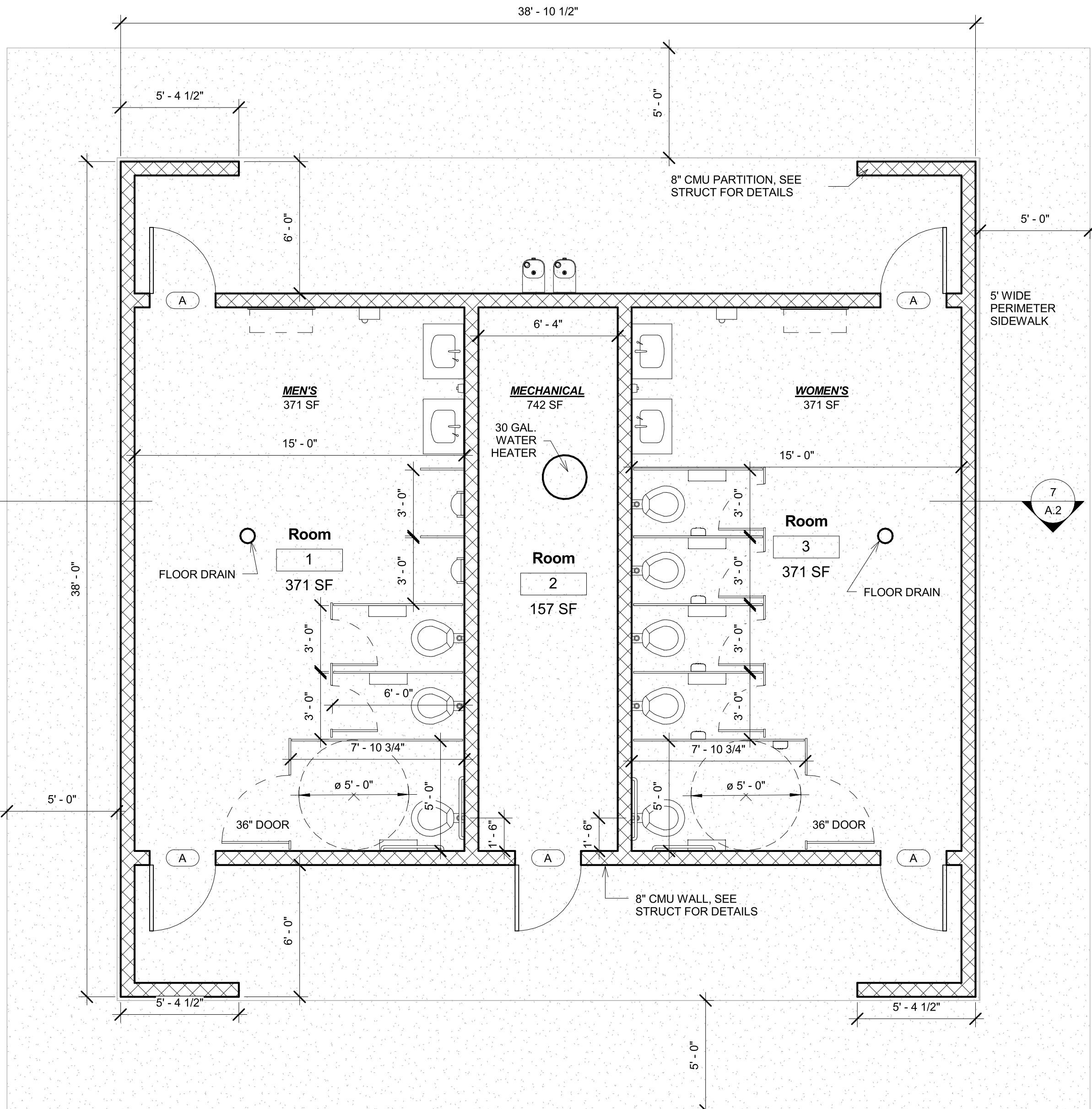
1. **DOOR "A"** = 3-0 / 6-8 STEEL DOOR, FOAM CORE, EXTERIOR PULL HANDLES WITH DEAD BOLT, CLOSER, STAINLESS STEEL HARDWARE FINISH, PAINTED WITH EPOXY PAINT TO MATCH EXISTING BUILDINGS

ACCESSORIES

1. RESTROOM PARTITIONS WILL BE MADE OF SOLID POLYMER (HDPE) PLASTIC, WITH EACH PARTITION SECURED TO FLOOR AND BRACED TO THE WALL, HAVING MOUNTED HANDRAIL. PARTITION COLOR SHOULD BE CREAM.
2. BRADLEY CORP MODEL 542S, TAMPER PROOF TOILET PAPER HOLDER IS TO BE INSTALLED IN EACH STALL. BRADLEY CORP MODEL 478-115, TAMPER PROOF NAPKIN DISPOSAL HOLDER IS TO BE LOCATED IN EACH WOMEN'S STALL.
3. EACH SIDE OF THE RESTROOM IS TO HAVE AN ELECTRIC HAND DRYER, BABY CHANGING STATION, AND A STAINLESS STEEL SOAP DISPENSER MOUNTED BETWEEN THE SINKS.

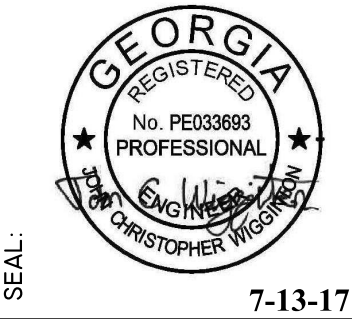
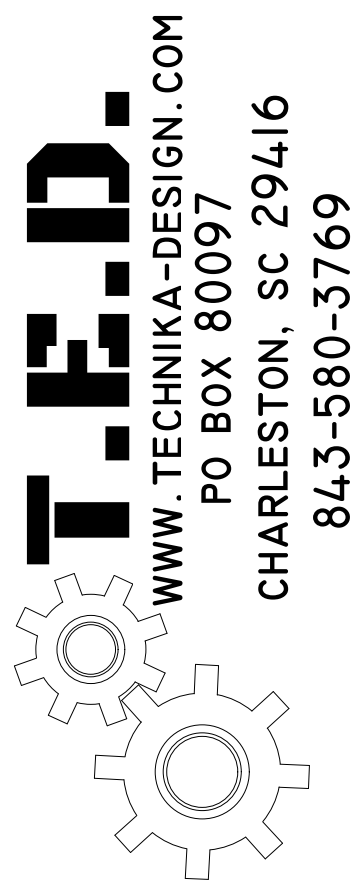


2 ROOF PLAN
1/4" = 1'-0"



③ FIRST FLOOR PLAN
1/4" = 1'-0"

REVISIONS



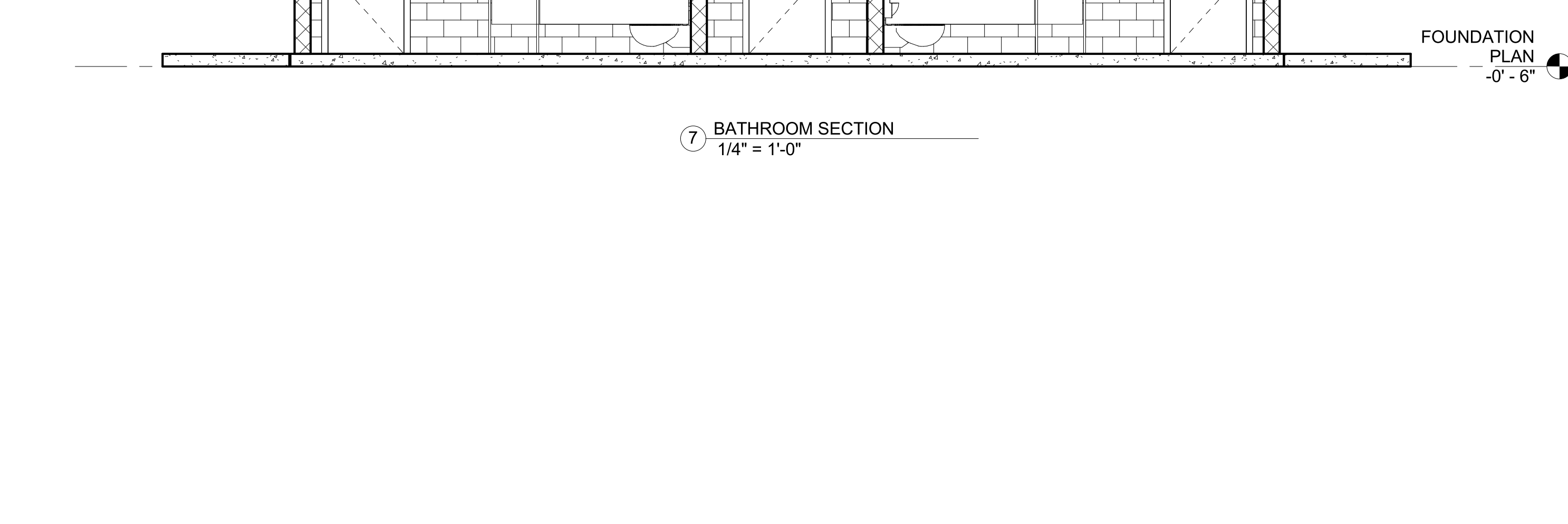
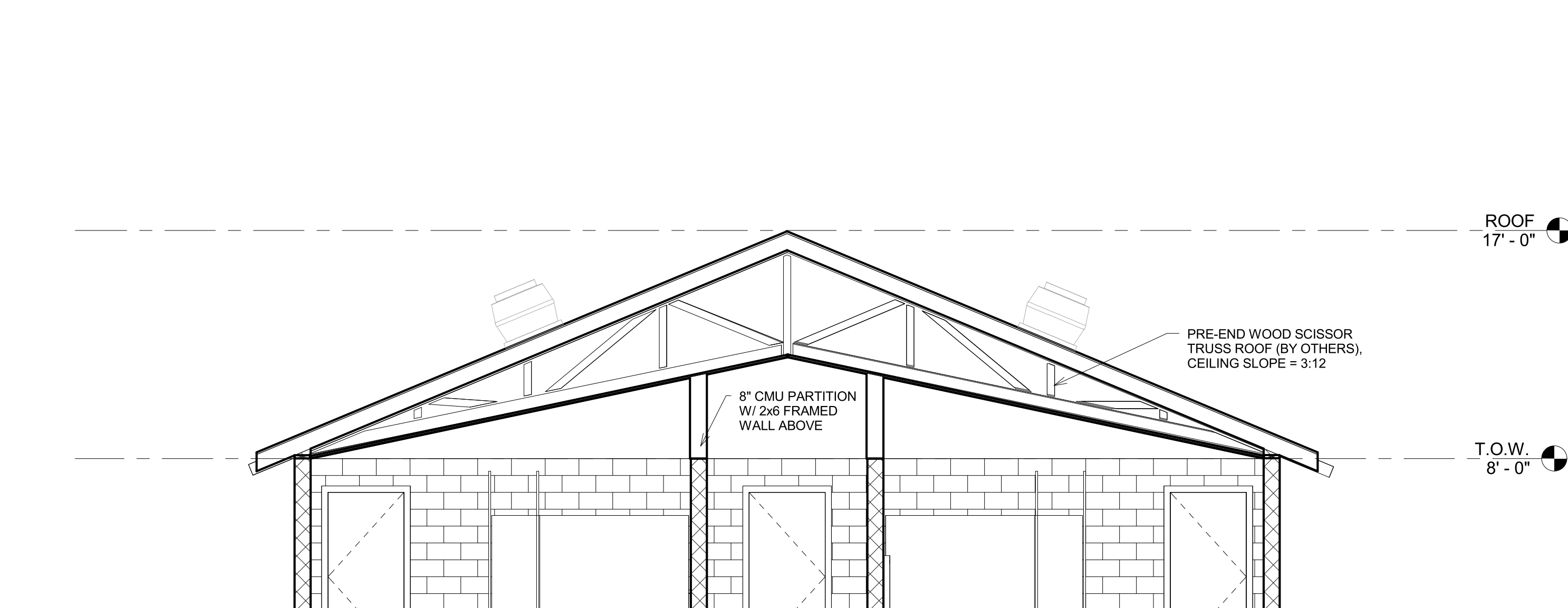
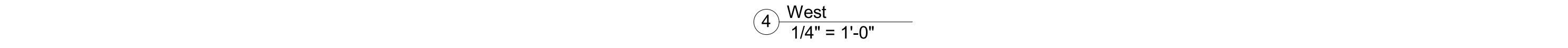
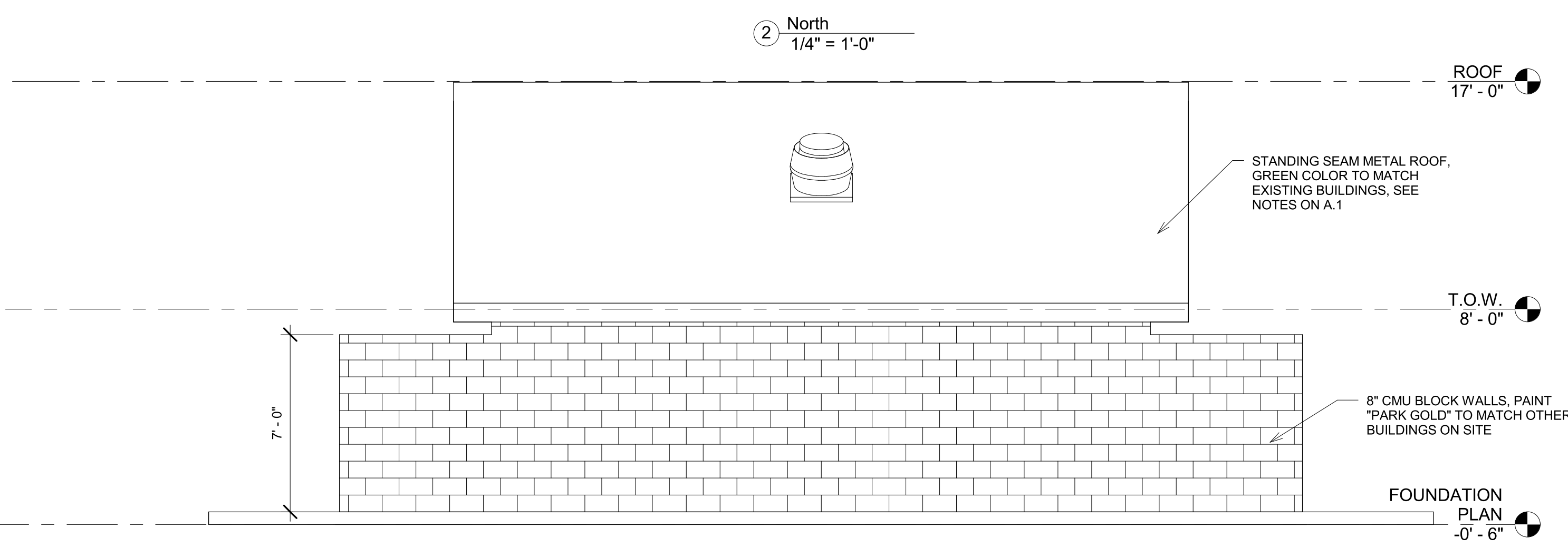
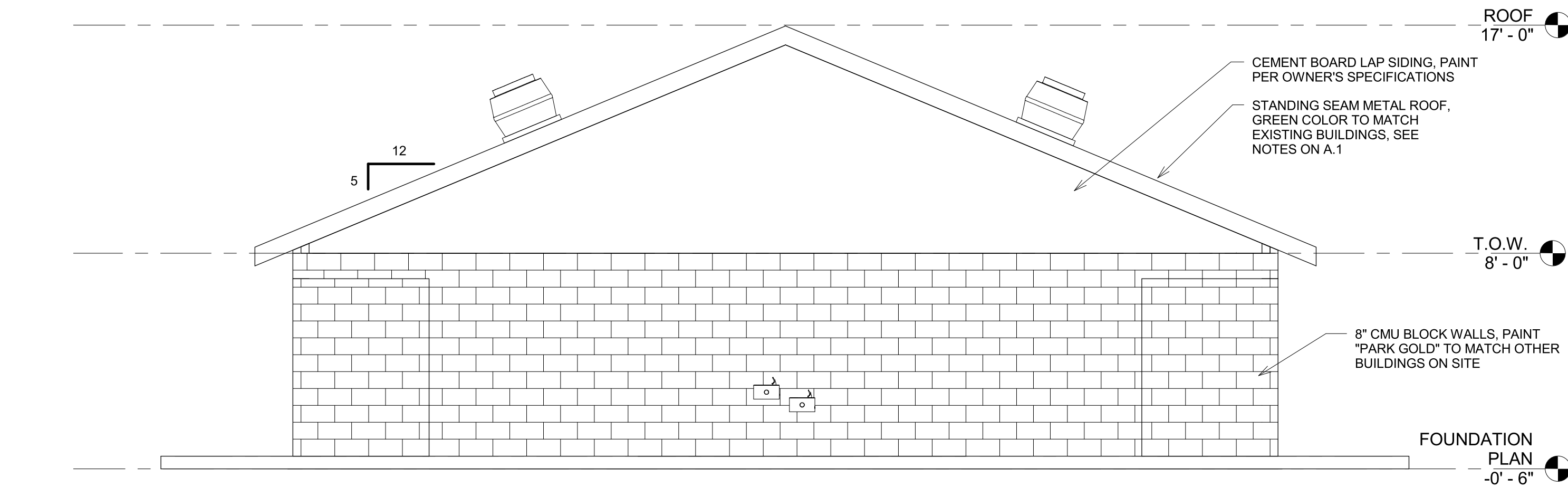
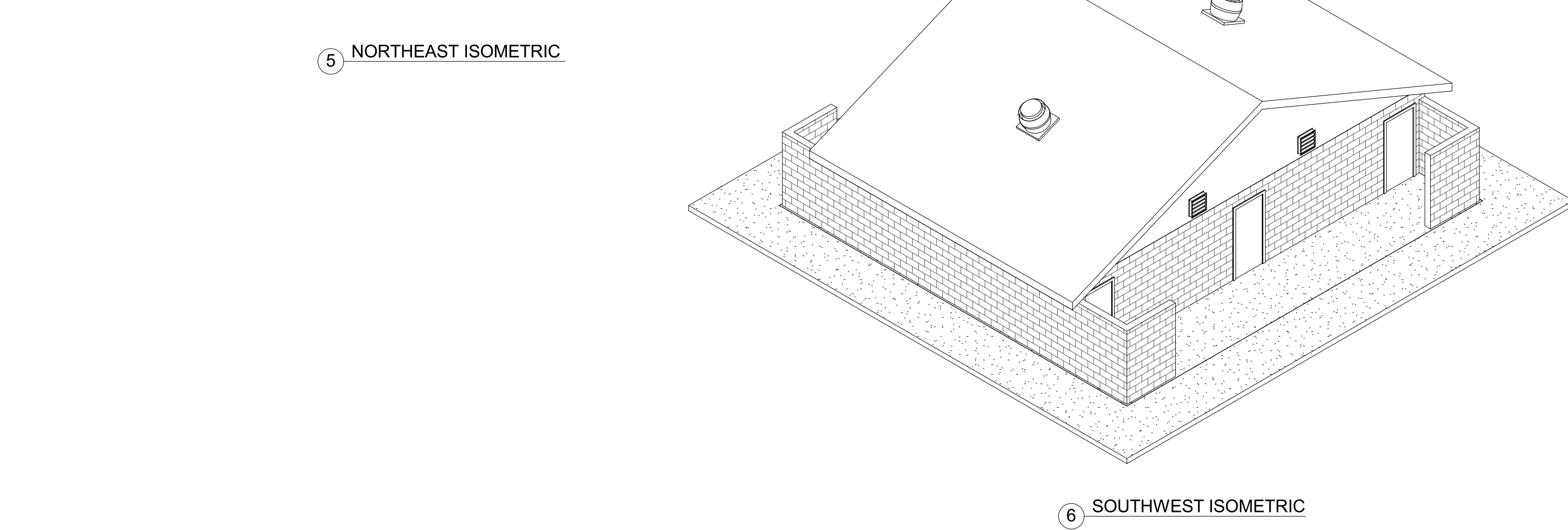
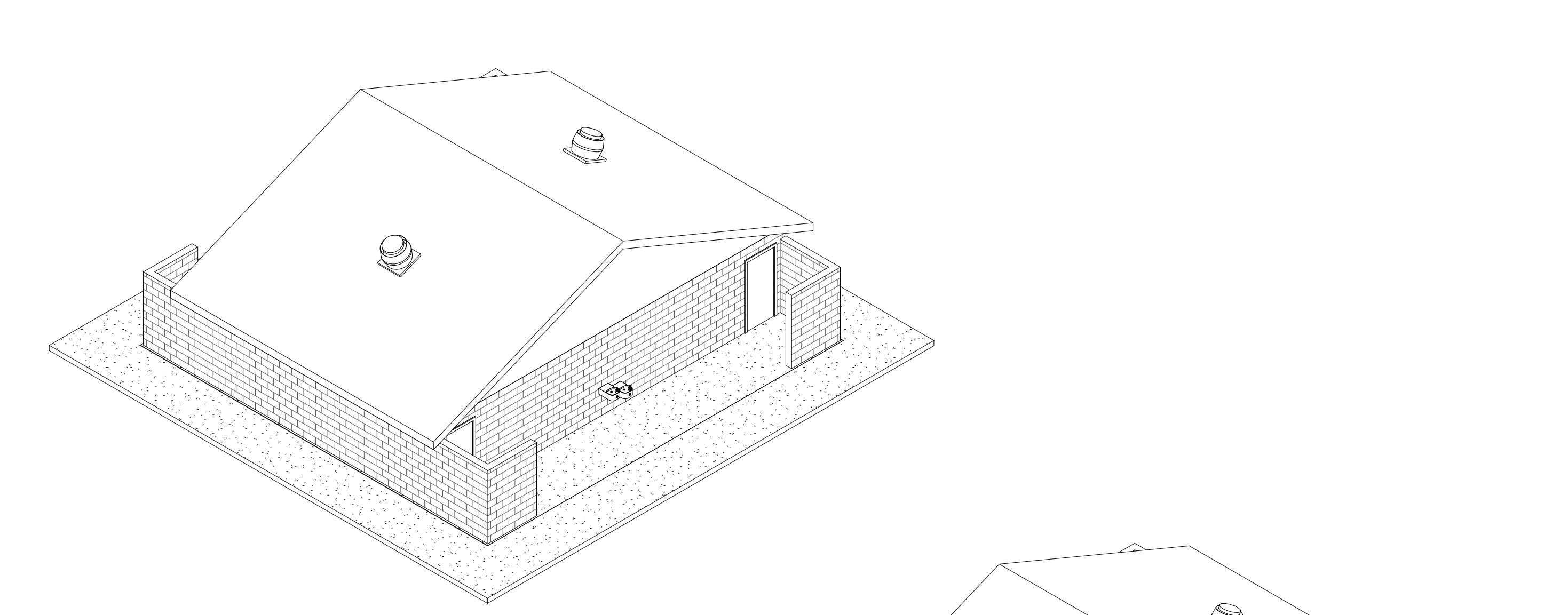
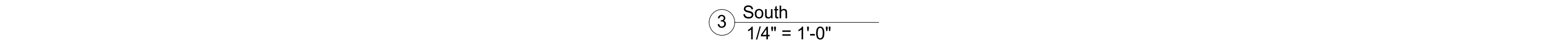
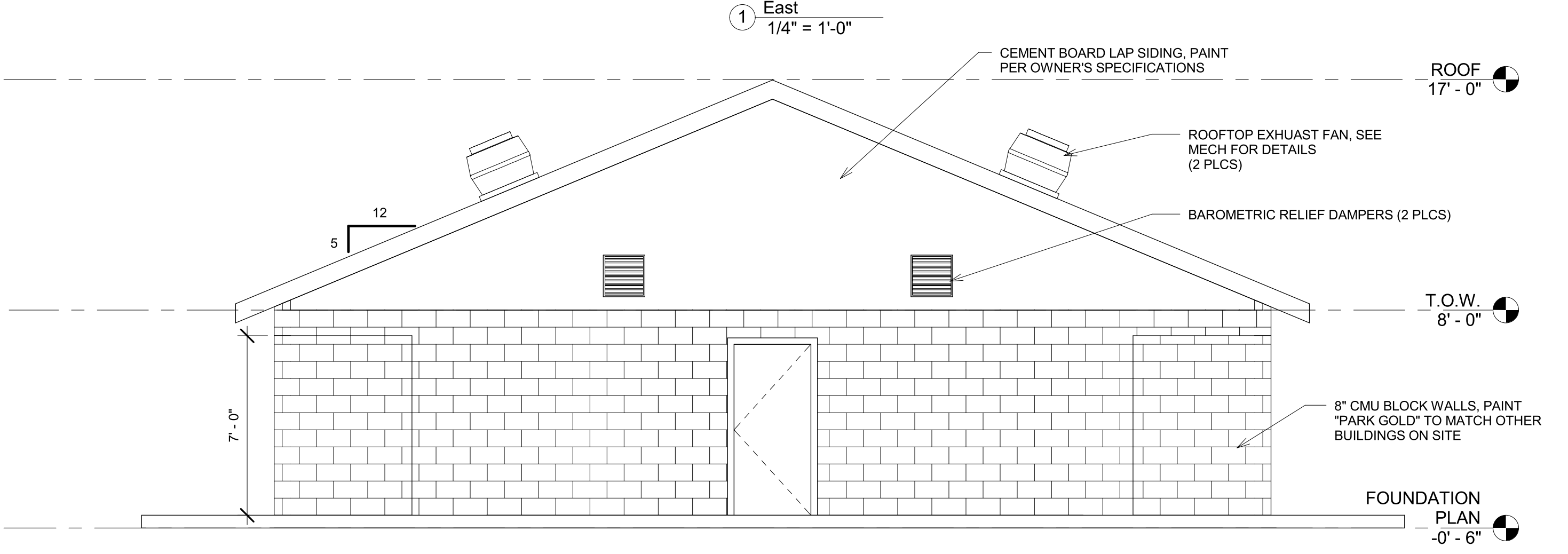
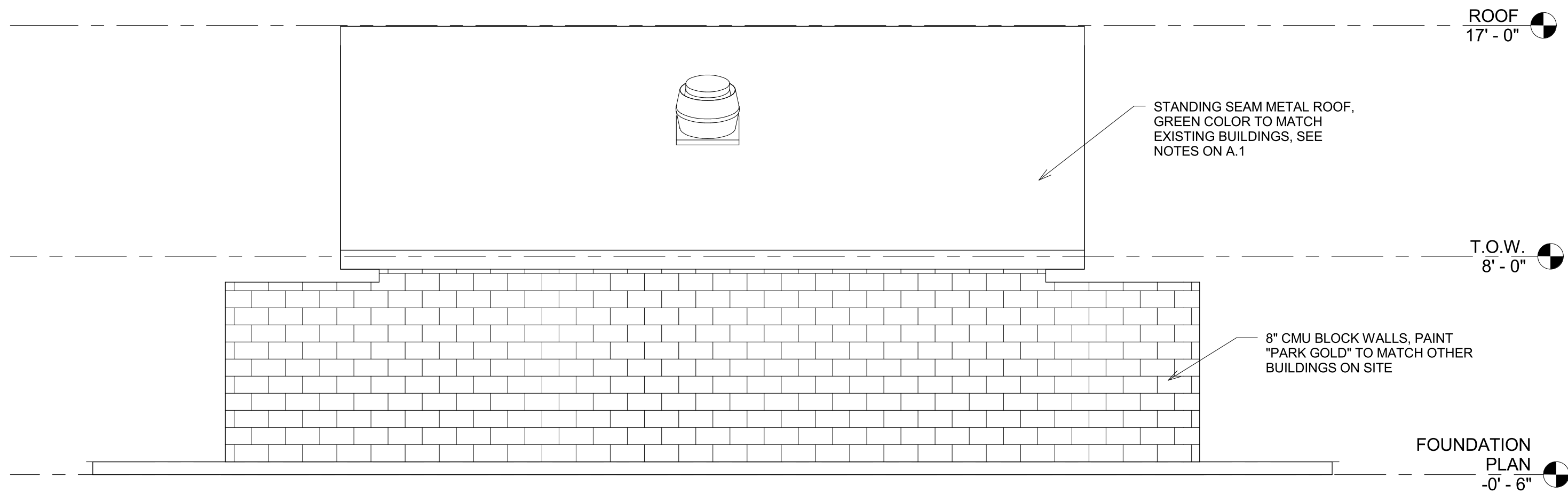
ARCHITECTURAL PLANS AND DETAILS

PROPOSED ENGINEERING DESIGN FOR THE
MCCURRY PARK RESTROOM
185 McDONOUGH RD. - FAYETTEVILLE, GA 30215

NOTES:

TECH	
DRAWN:	JCW
APPROVED:	
DATE:	7-10-17
JOB NO.:	T17-034
SHEET	1 OF 9
SHEET NUMBER:	

A.1



REVISIONS

T.E.D.

WWW.TECHNIKA-DESIGN.COM
PO BOX 80097
CHARLESTON, SC 29416
843-580-3769

SEAL:

GEORGIA
REGISTERED
No. PE033693
PROFESSIONAL
ENGINEER
CHRISTOPHER WOODWARD

7-13-17

ELEVATIONS

PROPOSED ENGINEERING DESIGN FOR THE
McCURRY PARK RESTROOM
185 McDONOUGH RD. - FAYETTEVILLE, GA 30215

NOTES:

TECH	JCW
APPROVED:	7-10-17
DATE:	T17-034
JOB NO.:	2 OF 9
SHEET NUMBER:	A.2

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE GEORGIA STATE MINIMUM STANDARD BUILDING CODE, 2012 EDITION (2012 INTERNATIONAL RESIDENTIAL CODE WITH SC STATE AMENDMENTS), REFERENCE TO OTHER STANDARD SPECIFICATIONS OR CODES SHALL MEAN THE LATEST STANDARD OR CODE ADOPTED AND PUBLISHED.
2. NOTES ON THIS DRAWING SHEET PROVIDE MINIMUM VALUES, DIMENSIONS, QUANTITIES, CHARACTERISTICS AND CONDITIONS. IF INFORMATION ON OTHER PLAN SHEETS EXCEED THE REQUIREMENTS SPECIFIED IN THESE NOTES, THEY SHALL GOVERN.
3. DRAWINGS SHOW TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY. FOR DETAILS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS SIMILAR TO THOSE SHOWN.
4. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK. NOTIFY STRUCTURAL ENGINEER OF ANY DISCREPANCY.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. THE STRUCTURAL ELEMENTS ARE NOT STABLE UNTIL THE STRUCTURE IS COMPLETED.
6. FABRICATION, ERECTION OR INSTALLATION OF COMPONENTS SHALL NOT PROCEED UNTIL SHOP DRAWINGS HAVE BEEN SUBMITTED, REVIEWED AND APPROVED BY THE ENGINEER.
7. COORDINATE STRUCTURAL CONTRACT DOCUMENTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DOCUMENTS. NOTIFY STRUCTURAL ENGINEER OF ANY CONFLICT AND/OR OMISSION. REFER TO ARCHITECT FOR DIMENSIONS NOT SHOWN.
8. COORDINATE AND VERIFY FLOOR AND ROOF OPENING SIZES AND LOCATIONS WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. FOR ADDITIONAL OPENINGS, INSERTS, SLEEVES, CURBS, PADS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS SEE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
9. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
10. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATIONS OF SHOP DRAWINGS.
11. UNLESS NOTED OTHERWISE, TESTING AND INSPECTION SERVICES SHALL BE PAID PROVIDED BY THE OWNER AND ARE NOT PART OF THE BASIC DESIGN SERVICES.

TIMBER

1. COMPLY WITH THE LATEST EDITION OF THE APFA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, 1997 SPC AND THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION TIMBER CONSTRUCTION MANUAL, FOURTH EDITION.
2. PROVIDE NEW LUMBER AND PLYWOOD WITH GRADE WHICH INDICATES SPECIES, MILL NUMBER, MOISTURE CONTENT WHEN SURFACED, AND GRADE OR STRESS RATING STAMPS FROM THE ASSOCIATIONS HAVING JURISDICTION.
3. PROVIDE APA STRUCTURAL 1 RATED PLYWOOD SHEATHING, C-C GRADE WITH EXTERIOR GLUE (EXPOSURE 1), GROUP 1 SPECIES, C GRADE WITH EXPOSURE 1 GLUE ON INNER PLYS ON EXTERIOR WALLS, ROOFS, DESIGNATED INTERIOR WALLS, AND ROOF DIAPHRAGMS.
4. REFER TO THE IBC FASTENING SCHEDULE FOR NAILING OF SHEAR WALLS IF NOT SHOWN ON THE DRAWINGS.
5. FASTEN STUDS AND RAFTERS WITH WIND TIES/CPLS, JOISTS AND RAFTERS TO SIDES OF BEAMS WITH HANGERS; AND SHEAR WALLS WITH HOLD-DOWNS USING PROPRIETARY STEEL CONNECTORS.
6. METAL CONNECTOR NOTATION: PROVIDE SHOWN DRAWINGS AND SPECIFICATIONS. STRONG-TIE & HILTI'S NOTATION. OTHER MANUFACTURER'S PRODUCTS MAY BE SUBSTITUTED PENDING APPROVAL BY THE ENGINEER.
7. CUTTING, MODIFYING OR REPAIR OF TRUSSES IS PROHIBITED. CONTACT ENGINEER FOR GUIDANCE.
8. CUTTING, NOTCHING & DRILLING OF BEAMS AND JOIST TO COMPLY WITH IBC REQUIREMENTS. MODIFICATIONS OF BEAMS/JOIST WITHIN SPAN /3 OF SUPPORTS IS PROHIBITED. CONTACT ENGINEER FOR GUIDANCE.
9. SHEATHED CONSTRUCTION, AT MINIMUM, PROVIDE 5/8" APA RATED PLYWOOD ATTACHED TO TRUSSES WITH 10d COMMON NAILS SPACED AT 6" ALONG EDGES AND 12" AT INTERMEDIATE SUPPORTS. FLOOR SHEATHING TO BE 3/4" APA RATED PLYWOOD ATTACHED TO SUPPORTING MEMBERS WITH 10d COMMON NAILS SPACED AT 6" ALONG EDGES AND 12" AT INTERMEDIATE SUPPORTS. EXTERIOR WALL SHEATHING TO BE 1/2" APA EXTERIOR RATED PLYWOOD ATTACHED TO SUPPORTING STUDS WITH 10d COMMON NAILS SPACED AT 6" ALONG EDGES AND 12" AT INTERMEDIATE SUPPORTS.
10. WALL CONSTRUCTION, AT MINIMUM: PROVIDE SOUTHERN PINE NO. 2 GRADE KILN-DRIED STUDS WITH MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF DRESSING. PROVIDE SOLID WALL BRIDGING SPACED AT 4'-0" O.C. VERTICALLY. VERTICALLY ALIGN STUDS AND OPENINGS IN BEARING WALLS AND OPENINGS IN NON-BEARING WALLS IS PROVIDED. PROVIDE SOUTHERN PINE NO. 2 GRADE KILN-DRIED JACK STUD TO SUPPORT LINTELS, JOISTS, SIDE OPENINGS BETWEEN 16" TO 48" WIDE. IN 6 INCH STUD WALLS, PROVIDE 3 - 2" X 8" HEADFOE SPANS UP TO 4'-0" AND 3-2"x10" UP TO 6'-0". FORM CORNERS WITH A MINIMUM OF 3 STUDS SPIKED TOGETHER. PROVIDE SINGLE BOTTOM SHOE AND DOUBLE TOP PLATE IN ALL BEARING WALLS. EXTERIOR - ANCHOR SILLS WITH 5/8" DIAMETER BOLTS EMBEDDED 8" AND SPACED NO MORE THAN 4'-0" APART AND LOCATED AT CORNERS AND 5/8" FROM OPENINGS AND ENDS OF WALLS. INTERIOR - ANCHOR SILLS WITH 0.145 POWDER ACTUATED FASTENERS EMBEDDED 11/4" AND SPACED AT 2'-0" ON CENTER. FABRICATE BUILT-UP POSTS AS FOLLOWS: 2-2X4'S FASTENED WITH ONE ROW OF STAGGERED 10D NAILS @ 6"; 3-2X4 FASTENED WITH ONE ROW OF STAGGERED 30D 3-2X6'S FASTENED WITH TWO ROWS OF 30D NAILS @ 6".
11. FLOOR AND ROOF CONSTRUCTION: PROVIDE SOUTHERN PINE NO. 2 OR BETTER LUMBER FOR JOISTS AND RAFTERS SURFACED DRY WITH MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF DRESSING. LOCATE JOISTS AND RAFTERS DIRECTLY OVER WALL STUDS. PROVIDE DOUBLE JOISTS UNDER WALLS PARALLEL TO JOISTS. NOTCHES IN JOISTS SHALL NOT EXCEED 1/6 THE JOIST DEPTH AND SHALL NOT IN THE MIDDLE THIRD OF THE SPAN. BORED HOLES SHALL NOT BE DEEPER THAN 2" OF THE JOIST DEPTH AND NOT EXCEED 1/16 THE JOIST. INSTALL ONE LINE 1" X 3" CROSS BRIDGING FOR EACH 8' OF FLOOR FRAMING. INSTALL 2" SOLID BLOCKING BETWEEN JOISTS OVER ALL BEAMS OR OTHER SUPPORTING MEMBERS. IN AREAS TO RECEIVE CEILING, STRAP THE UNDERSIDE OF JOISTS WITH 1" X 3" MERCHANTABLE SPRUCE, SHIM STRAPPING TO PRODUCE A LEVEL CEILING. 3/4" THICK TONGUE-AND-GROOVE, INTERIOR TYPE WITH EXTERIOR GLUE, UNDERLAYMENT GRADE PLYWOOD.

ENGINEERED STRUCTURAL WOOD

1. I-JOIST DESIGNATIONS PROVIDED ON DRAWINGS ARE WEYERHAEUSER'S NOTATION. OTHER MANUFACTURER'S PRODUCTS MAY BE SUBSTITUTED PENDING APPROVAL BY THE ENGINEER.
2. PROVIDE LAMINATED VENEER LUMBER (LVL) AND PARALLEL STRAND LUMBER (PSL) MADE UNDER PROCESSES APPROVED BY THE NATIONAL RESEARCH BOARD. COMPLY WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION TIMBER CONSTRUCTION MANUAL, FOURTH EDITION, FOR THE DESIGN, FABRICATION, AND CONSTRUCTION OF ENGINEERED STRUCTURAL WOOD.
3. PROVIDE LVL LUMBER HAVING THE FOLLOWING GRADE AND DESIGN VALUES: GRADE = 3100 FB SP; FLEXURAL STRESS (FB) = 3,100 PSI; MODULUS OF ELASTICITY (E) = 2,000,000 PSI; AND HORIZONTAL SHEAR STRESS (FV) = 290 PSI.
4. PROVIDE PSL TIMBER HAVING THE FOLLOWING GRADE AND DESIGN VALUES: GRADE = 2.0E; FLEXURAL STRESS (FB) = 2,900 PSI; MODULUS OF ELASTICITY (E) = 2,000,000 PSI; SHEAR MODULUS OF ELASTICITY (G) = 125,000 PSI; AND HORIZONTAL SHEAR STRESS (FV) = 290 PSI.
5. NAIL EACH LAYER OF LVL MEMBERS TOGETHER WITH (3) 16d NAILS PER FOOT.
6. CUTTING, NOTCHING & DRILLING OF BEAMS AND JOIST TO COMPLY WITH IBC REQUIREMENTS. MODIFICATIONS OF BEAMS/JOIST WITHIN SPAN /3 OF SUPPORTS IS PROHIBITED. CONTACT ENGINEER FOR GUIDANCE.

CONCRETE NOTES

1. ALL CONCRETE WORK SHALL COMPLY WITH ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", LATEST EDITION. DESIGN BASED ON ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION.
2. UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE THE FOLLOWING MINIMUM 28 DAY STRENGTH: FOUNDATIONS: 3000PSI, RETAINING WALLS: 3000PSI, SLAB-ON-GRADE: 3000PSI, COMPOSITE FLOOR SLABS 4000PSI.
3. CONCRETE MIX DESIGNS SHALL BE SUBMITTED TO THE TESTING AGENCY AND THE STRUCTURAL ENGINEER, IN ACCORDANCE WITH ACI 318 SECTION 5.3. APPROVAL OF MIX DESIGN SHALL BE RESPONSIBILITY OF TESTING AGENCY.
4. MIX MATERIALS AND MIX DESIGN SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE OWNER'S TESTING LABORATORY. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE REQUIRED DESIGN STRENGTH.
5. USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS IN THE CONCRETE IS PROHIBITED.
6. THE AIR CONTENT IN ALL CONCRETE EXPOSED TO WEATHER SHALL BE 4 ± 1/2% ± 1 ± 1/2%.
7. UNLESS NOTED OTHERWISE, SAMPLES FOR STRENGTH TESTING OF EACH CLASS OF CONCRETE PLACED SHALL BE TAKEN BY THE TESTING AGENCY AT MINIMUM: ONCE A DAY, FOR EACH 100 CUBIC YARDS OF CONCRETE, OR FOR EACH 5000 SQUARE FEET OF SURFACE AREA FOR SLABS AND WALLS. SAMPLING TO COMPLY WITH ASTM C172. TESTING TO COMPLY WITH: ASTM C143, AIR CONTENT: ASTM C173, COMPRESSIVE STRENGTH: ASTM C39, UNIT WEIGHT OF LIGHTWEIGHT CONCRETE: ASTM C172.
8. CHAMFER OR ROUND ALL EXPOSED CORNERS MINIMUM 3/4".
9. DETAIL CONCRETE REINFORCEMENT AND ACCESSORIES IN ACCORDANCE WITH ACI 315, "DETAILING MANUAL", LATEST EDITION. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. DRAWINGS TO SHOW ALL DIMENSIONS AND LOCATIONS FOR PLACING REINFORCING STEEL AND ACCESSORIES. DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED.
10. UNLESS NOTED OTHERWISE, REINFORCING STEEL SHALL BE GRADE 60 AND CONFORM TO ASTM A615.
11. WELDED WIRE MESH (FABRIC) SHALL CONFORM TO ASTM A185 AND SHALL BE PROVIDED IN FLAT SHEETS. ROLLS (ROLLED WELDED WIRE MESH/FABRIC) IS PROHIBITED.
12. PRIOR TO PLACING CONCRETE ALL REINFORCING STEEL AND EMBEDMENTS SHALL BE TIED SECURELY IN PLACE AND SUFFICIENTLY SUPPORTED TO MAINTAIN THE POSITION OF THE REINFORCEMENT DURING ALL CONSTRUCTION ACTIVITIES. "STICKING" DOWELS INTO WET CONCRETE IS NOT PERMITTED.
13. PROVIDE CONTINUOUS REINFORCEMENT WHEREVER POSSIBLE; SPLICE ONLY AS SHOWN OR APPROVED; STAGGER SPLICES WHEREVER POSSIBLE. USE CLASS "B" TENSION SPLICE UNLESS NOTED OTHERWISE. DOWELS SHALL MATCH THE SIZE AND SPACING OF THE SPECIFIED REINFORCEMENT AND SHALL BE LAPPED WITH CLASS "B" TENSION SPLICE. UNLESS NOTED OTHERWISE LAP LENGTHS EXPRESSED IN NUMBER OF BAR DIAMETERS SHALL BE AS PRESCRIBED IN ACI 318-05.
14. INCREASE THE LAP LENGTHS BY 1.3 FOR TOP BARS AND BY 1.3 FOR LIGHTWEIGHT CONCRETE.
15. REINFORCING STEEL SHALL HAVE THE MINIMUM CONCRETE COVER AS REQUIRED BY ACI 318-05.
16. DO NOT PLACE OBJECTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS WITHIN THE SLAB OR WALL UNLESS SPECIFICALLY SHOWN AND DETAILED ON THE STRUCTURAL DRAWINGS.
17. DO NOT WELD OR TACK WELD REINFORCING STEEL UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
18. FLOOR FINISH TOLERANCES FOR INTERIOR SLABS SHALL BE MEASURED IN ACCORDANCE WITH ACI 302.1 AND ASTM E1155. MINIMUM FINISH VALUES SHALL BE AS FOLLOWS: SPECIFIED OVERALL VALUE (SOV), F/F GREATER THAN OR EQUAL TO 25, F/L GREATER THAN OR EQUAL TO 20, MINIMUM LOCAL VALUE (MLV), F/F GREATER THAN OR EQUAL TO 17, F/L GREATER THAN OR EQUAL TO 15.
19. EXTERIOR SLABS SHALL DRAIN FREELY WITH A MAXIMUM VARIATION FROM THE INDICATED PLANE OF 1/4" IN 10'-0". REINFORCING PLACEMENT SHALL BE INSPECTED IN ACCORDANCE WITH ACI 318 SECTION 1.3.3. OR UNDER THE SUPERVISION OF A REGISTERED STRUCTURAL ENGINEER. UNLESS NOTED OTHERWISE, THESE INSPECTIONS ARE NOT INCLUDED IN THE BASIC SERVICES OF THE STRUCTURAL ENGINEER OF RECORD.
21. PROVIDE FOR AN ALLOWANCE OF 1% OF TOTAL REINFORCING STEEL FOR THE PROJECT TO BE FABRICATED, AND PLACED DURING THE WORK AS MAY BE DIRECTED BY THE STRUCTURAL ENGINEER. IN ADDITION TO REINFORCING STEEL INDICATED ON THE DRAWINGS, CREDIT THE OWNER ANY UNUSED QUANTITY AT THE END OF THE PROJECT.

PREFABRICATED TRUSSES

1. DESIGN, FABRICATE, AND INSTALL METAL PLATE-CONNECTED TRUSSES MEETING TRUSS PLATE INSTITUTE TPI 1-1995 AND THE AMERICAN FOREST & PAPER ASSOCIATION NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, 1997 SPC.
2. SUBMIT SHOP DRAWINGS TO THE STRUCTURAL SHOWING ERECTION PLANS, FABRICATED ASSEMBLIES, AND ACCESSORIES. SHOW MEMBER DESIGNATIONS, SIZES, AND CONNECTIONS. SUBMIT DESIGN CALCULATIONS PREPARED BY A LICENSED ENGINEER INDICATING STRENGTHS, STABILITY, AND SERVICEABILITY OF MEMBERS AND CONNECTIONS.
3. PROVIDE KILN-DRIED LUMBER MEETING OR EXCEEDING THE FOLLOWING DESIGN VALUES: FB = 1,400 PSI, FT = 925 PSI, FC = 1,500 PSI, AND E = 1,600,000 PSI. APPLY DESIGN ADJUSTMENT FACTORS ACCORDING TO THE NDS.
4. BRACE ROOF TRUSSES TO PROVIDE STABILITY DURING AND AFTER CONSTRUCTION.

EPOXY ADHESIVE HARDWARE ANCHORAGE

1. LOCATIONS FOR HOLES/HARDWARE ANCHORAGE TO BE LOCATED PER THE DESIGN DRAWINGS, CONSIDERING ANY FIELD VERIFICATIONS/CONDITIONS AS APPLICABLE.
2. DRILL HOLES TO THE EMBEDMENT / HOLE DEPTH SPECIFIED IN THE DRAWINGS. HOLES FOR #4 REBAR TO BE 9/16" DIA. FOR 3/4"-10 THREADED ROD TO BE 7/8" DIA.
3. DRILL HOLES TO BE THOROUGHLY CLEANED PRIOR TO APPLICATION OF EPOXY ADHESIVE. CLEANING OF HOLES SHALL UTILIZE A BRUSH OF APPROPRIATE DIAMETER (SLIGHTLY LARGER THAN THE HOLE) AND EITHER COMPRESSED AIR OR A VACUUM.
4. EPOXY ADHESIVE TO BE PROPORTIONED AND COMBINED PER THE MANUFACTURER'S INSTRUCTIONS. PRE-PACKAGED UNITS THAT AUTOMATICALLY COMBINE THE CONSTITUENTS SHALL BE CHECKED TO VERIFY PROPER OPERATION.
5. INSERT EPOXY ADHESIVE INTO THE HOLE PER THE MANUFACTURER'S INSTRUCTIONS. HOLES TO BE FILLED TO A LEVEL IN WHICH ALLOWS THE EPOXY ADHESIVE TO RISE UP TO THE SURFACE OF THE CONCRETE AFTER INSERTION OF HARDWARE (TEST APPLICATIONS FOR EACH HARDWARE TYPE ARE RECOMMENDED).
6. INSERT HARDWARE WITHIN THE EMBEDMENT NOTION, RELEASING AFTER FULL INSERTION. DO NOT MOVE, RE-POSITION OR LOAD THE HARDWARE FOR ONE AND HALF HOURS.
7. THE "WORKING TIME" FOR MIXED EPOXY ADHESIVE SHALL BE FIVE MINUTES. ANY EPOXY THAT HAS BEEN MIXED SHALL BE DISCARDED AND NOT USED FOR ANCHORAGE AFTER FIVE MINUTES HAS ELAPSED.

FOUNDATIONS AND SLABS ON GRADE

1. A GEOTECHNICAL INVESTIGATION OF THE SITE IS RECOMMENDED FOR ALL PROJECTS REQUIRING FOUNDATIONS. IF THE OWNER OMITS A GEOTECHNICAL INVESTIGATION AN ALLOWABLE SOIL CAPACITY OF 2000 PSF WILL BE ASSUMED. SITE CONDITIONS FAILING TO ACHIEVE THIS SOIL CAPACITY INVALIDATE THIS FOUNDATION DESIGN. STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR SITE SOIL CONDITIONS OR CHARACTERISTICS.
2. A REGISTERED GEOTECHNICAL ENGINEER, FAMILIAR WITH THE REGION, SHALL INSPECT THE CONDITION AND ENSURE THE ADEQUACY OF ALL SUBGRADES, FILLS AND BACKFILLS BEFORE PLACEMENT OF FOUNDATIONS, FOOTINGS, SLABS, AND WALLS. THE GEOTECHNICAL ENGINEER SHALL SUBMIT REPORTS OF ALL FINDINGS TO THE STRUCTURAL ENGINEER.
3. SIDES OF FOUNDATIONS SHALL BE FORMED UNLESS CONDITIONS PERMIT EARTH FORMING. FOUNDATIONS CAST AGAINST EARTH REQUIRE SLOPES OF IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND CLEAN UP OF ACCUMULATED WATER AND RUBBISH PRIOR TO CONCRETE PLACEMENT.
4. WHERE FOOTING STEPS ARE NECESSARY THEY SHALL BE NO STEEPER THAN ONE VERTICAL AND TWO HORIZONTAL.
5. BASEMENT WALLS (WALLS SUPPORTED AT THE TOP AND BOTTOM BY SLABS) SHALL NOT BE BACKFILLED PRIOR TO THE SLABS AT THE TOP AND BOTTOM OF THEIR DESIGN STRENGTHS.
6. UNLESS NOTED OTHERWISE, SLABS-ON-GRADE SHALL BE MINIMUM 4" THICK PLACED ON COMPACTED SUBGRADE, REINFORCED WITH 6X6 - W2, 1XW2.1 W.W.M. IN FLAT SHEETS (ROLLS NOT PERMITTED). SUPPORT MESH WITH FORMED CHAIRS @ 4'-0" EACH WAY AT A DEPTH OF 1'-1/2" CLEAR FROM THE TOP OF THE SLAB. LAP MESH TWO SQUARES AT SPLICES AND STAGGER SPLICES. PROVIDE VAPOR BARRIER BENEATH THE FLOOR SLAB WITH JOINTS LAPPED. PLACE JACK STUD TO SUPPORT LINTELS, JOISTS, SIDE OPENINGS BETWEEN 16" TO 48" WIDE. IN 6 INCH STUD WALLS, PROVIDE 3 - 2" X 8" HEADFOE SPANS UP TO 4'-0" AND 3-2"x10" UP TO 6'-0". FORM CORNERS WITH A MINIMUM OF 3 STUDS SPIKED TOGETHER. PROVIDE SINGLE BOTTOM SHOE AND DOUBLE TOP PLATE IN ALL BEARING WALLS. EXTERIOR - ANCHOR SILLS WITH 5/8" DIAMETER BOLTS EMBEDDED 8" AND SPACED NO MORE THAN 4'-0" APART AND LOCATED AT CORNERS AND 5/8" FROM OPENINGS AND ENDS OF WALLS. INTERIOR - ANCHOR SILLS WITH 0.145 POWDER ACTUATED FASTENERS EMBEDDED 11/4" AND SPACED AT 2'-0" ON CENTER. FABRICATE BUILT-UP POSTS AS FOLLOWS: 2-2X4'S FASTENED WITH ONE ROW OF STAGGERED 10D NAILS @ 6"; 3-2X4 FASTENED WITH ONE ROW OF STAGGERED 30D 3-2X6'S FASTENED WITH TWO ROWS OF 30D NAILS @ 6".
7. SLABS-ON-GRADE CONSISTING OF FIBER-REINFORCED CONCRETE ("FIBERCRETE") WITHOUT STEEL REINFORCEMENT ARE OF SLABS-ON-GRADE. SUPPORTING WALLS, POSTS OR OTHER LOADS MUST HAVE STEEL REINFORCEMENT. A MINIMUM OF 6X6-W2-1XW2.1 OR #4 @ 24" ON CENTER, EACH WAY SHOULD BE PROVIDED TO ENSURE PROPER PERFORMANCE.

MASONRY NOTES

1. CONCRETE MASONRY DESIGN AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:
2. BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530/ASCE 5/TMS 402, LATEST EDITION ADOPTED.
3. SPECIFICATIONS FOR MASONRY STRUCTURES, ACI 530.1/ASCE 5/TMS 602, LATEST EDITION ADOPTED.
4. UNLESS NOTED OTHERWISE, PROVIDE HOLLOW, LOAD-BEARING CONCRETE MASONRY UNITS (CMU) CONFORMING TO ASTM C90, TYPE 1, WITH A MAXIMUM DENSITY OF 105 PCF.
5. PROVIDE CONCRETE MASONRY WITH MINIMUM COMPRESSIVE STRENGTH, Fm = 1,500 PSI, CORRESPONDING TO UNIT STRENGTH OF 2,000 PSI OF CMU DETERMINED IN ACCORDANCE WITH ASTM C140.
6. PROVIDE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270, UNLESS NOTED OTHERWISE. MORTAR BED JOINTS SHALL NOT EXCEED 5/8" THICKNESS.
7. PROVIDE GROUT FOR REINFORCED MASONRY IN ACCORDANCE WITH ASTM C476 WITH MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI, UNLESS NOTED OTHERWISE.
8. CELLS TO BE GROUTED OVER 50% HIGHER SHALL HAVE CLEAN-OUT HOLES PROVIDED AT THE BASE.
9. LAP REINFORCING BARS 50 BAR DIAMETERS AT SPLICES, UNLESS OTHERWISE NOTED.
10. PROVIDE TRUSS OR LADDER TYPE HORIZONTAL JOINT REINFORCEMENT COMPLYING WITH ASTM A82, WITH MIN. TWO 9 GA. - LONGITUDINAL LINES, ZINC COATED, PLACED 16 INCHES ON CENTER UNLESS NOTED OTHERWISE. AT CORNERS, PROVIDE HORIZONTAL JOINT REINFORCEMENT SPECIFICALLY DESIGNED FOR SUCH.
11. ALL CMU WALLS SHALL BE REINFORCED, AT MINIMUM, AS FOLLOWS:
12. ERTICAL ORIENTATION FOR PRIMARY REINFORCEMENT OF EXTERIOR WALLS SHOULD BE #5 AT 32" ON CENTER MINIMUM.
13. VERTICAL ORIENTATION FOR PRIMARY REINFORCEMENT OF INTERIOR WALLS SHOULD BE #4 AT 48" ON CENTER MINIMUM.
14. VERTICAL ORIENTATION AT ENDS, CORNERS, OR ADJACENT TO CONTROL JOINTS SHOULD BE #5, FULL HEIGHT MINIMUM.
15. VERTICAL ORIENTATION FOR SIDES OF OPENINGS SHOULD BE #5 MINIMUM. SEE LINTEL SCHEDULE.
16. HORIZONTAL ORIENTATION OF TOP OF OPENINGS SHOULD BE #5, FULL HEIGHT MINIMUM.
17. HORIZONTAL ORIENTATION OF BOTTOM OF OPENINGS #5 EXTENDING 2'-0" PAST OPENING EDGES.
18. HORIZONTAL ORIENTATION OF TOP OF WALLS (2) #4 CONTINUOUS.
19. MASONRY UNITS TO BE LAID IN RUNNING BOND, UNLESS NOTED OTHERWISE.
20. SIDES AND TOP OF MASONRY WALLS SHALL BE ANCHORED TO STRUCTURE BY DOVETAIL ANCHORS, METAL STRAPS, OR EQUIVALENT, UNLESS NOTED OTHERWISE.
21. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL, SHOWING ALL FABRICATION DIMENSIONS AND LOCATIONS FOR PLACING REINFORCING STEEL AND ACCESSORIES. SHOW WALL STEEL IN ELEVATION. NO FABRICATION SHALL BEGIN UNTIL SHOP DRAWINGS ARE COMPLETED, REVIEWED AND APPROVED.
22. UNLESS NOTED OTHERWISE, PROVIDE TYPICAL CONTROL JOINTS ACCORDING TO THE FOLLOWING CRITERIA:
23. AT 40'-0" ON CENTER MAXIMUM.
24. 20'-0" FROM BUILDING CORNERS, MAXIMUM.
25. NO CLOSER THAN 1'-4" TO OPENING EDGES.
26. NO CLOSER THAN 1'-4" TO MAJOR BEAM OR JOIST BEARINGS.
27. UNLESS NOTED OTHERWISE, PROVIDE HOLLOW, LOAD-BEARING CONCRETE MASONRY UNITS (CMU) CONFORMING TO ASTM C90, TYPE 1, WITH A MAXIMUM DENSITY OF 105 PCF.

ABBREVIATIONS

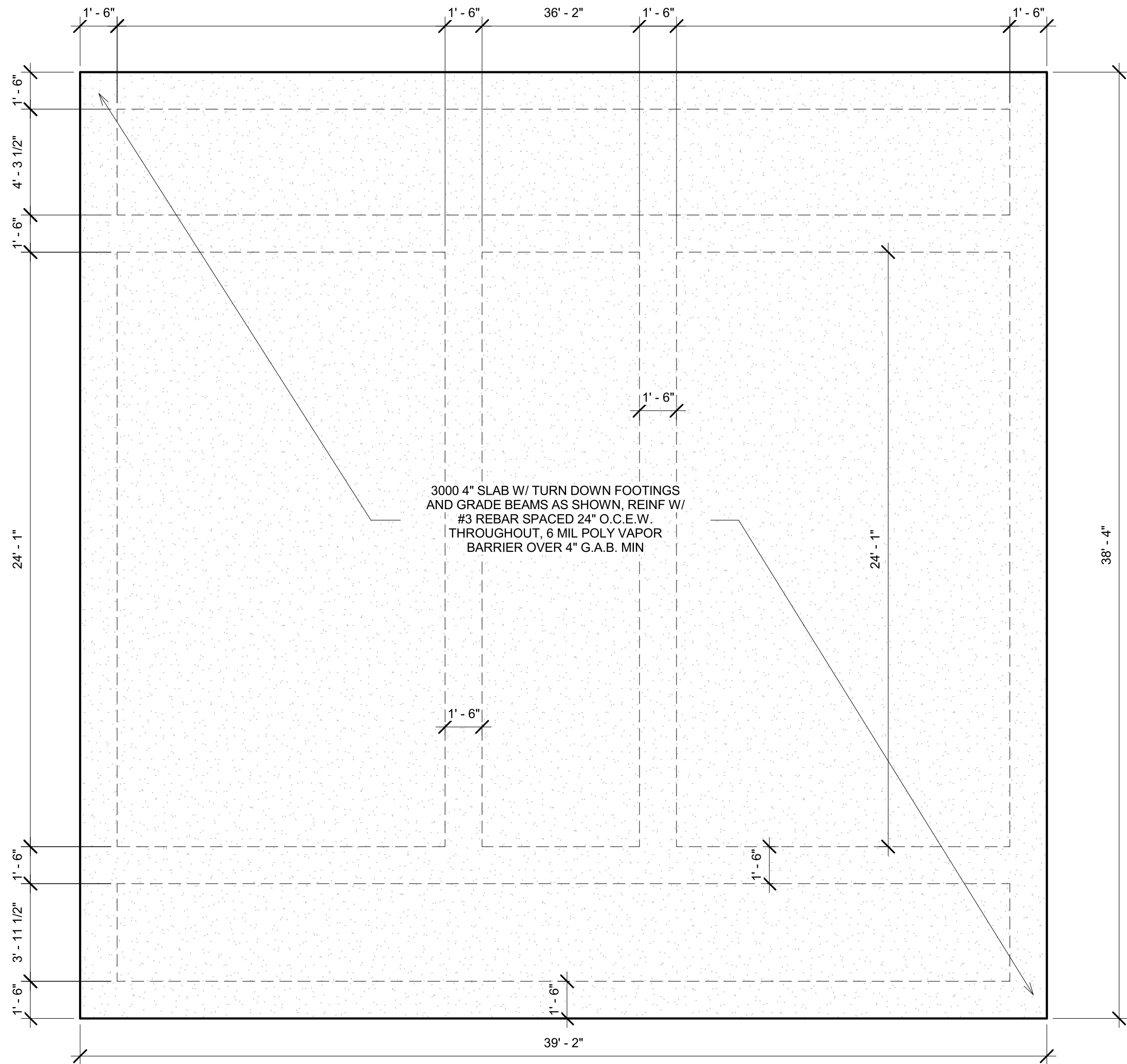
A.F.F.	ABOVE FINISH FLOOR
ARCH	ARCHITECTURAL
BOTT	BOTTOM
BUDG	BUILDING
BM	BEAM
BRG	BEARING
C.I.P.	CAST-IN-PLACE (CONCRETE)
C.I.	CONTROL JOINT
C.	CENTERLINE
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
D.B.A	DEFORMED BAR ANCHOR
BIM	DIMENSION
DWG	DRAWING
DWL	DOWEL
EA	EACH
E.F.	EACH FACE
E.J.	EXPANSION JOINT
ELEV	ELEVATION
E.O.S.	EDGE OF SLAB
EQ	EQUAL
EXT	EXTERIOR
E.W.	EACH WAY
FDN	FOUNDATION
F.F.E	FINISH FLOOR ELEVATION
FIN	FINISH
FLR	FLOOR
F.O.B	FACE OF BRICK
F.O.G	FACE OF GIRT
F.O.W.	FACE OF WALL
F.S.	FACE SIDE
FT	FEET
FTG	FOOTING
GA	GAGE (GAUGE)
G.A.B	GRADED AGGREGATE BASE
GR	GRADE
HORZ	HORIZONTAL
I.D.	INSIDE DIAMETER
INT	INTERIOR
JT	JOINT
KSF/KSI	KIPS PER SQUARE FOOT/INCH

ABBREVIATIONS

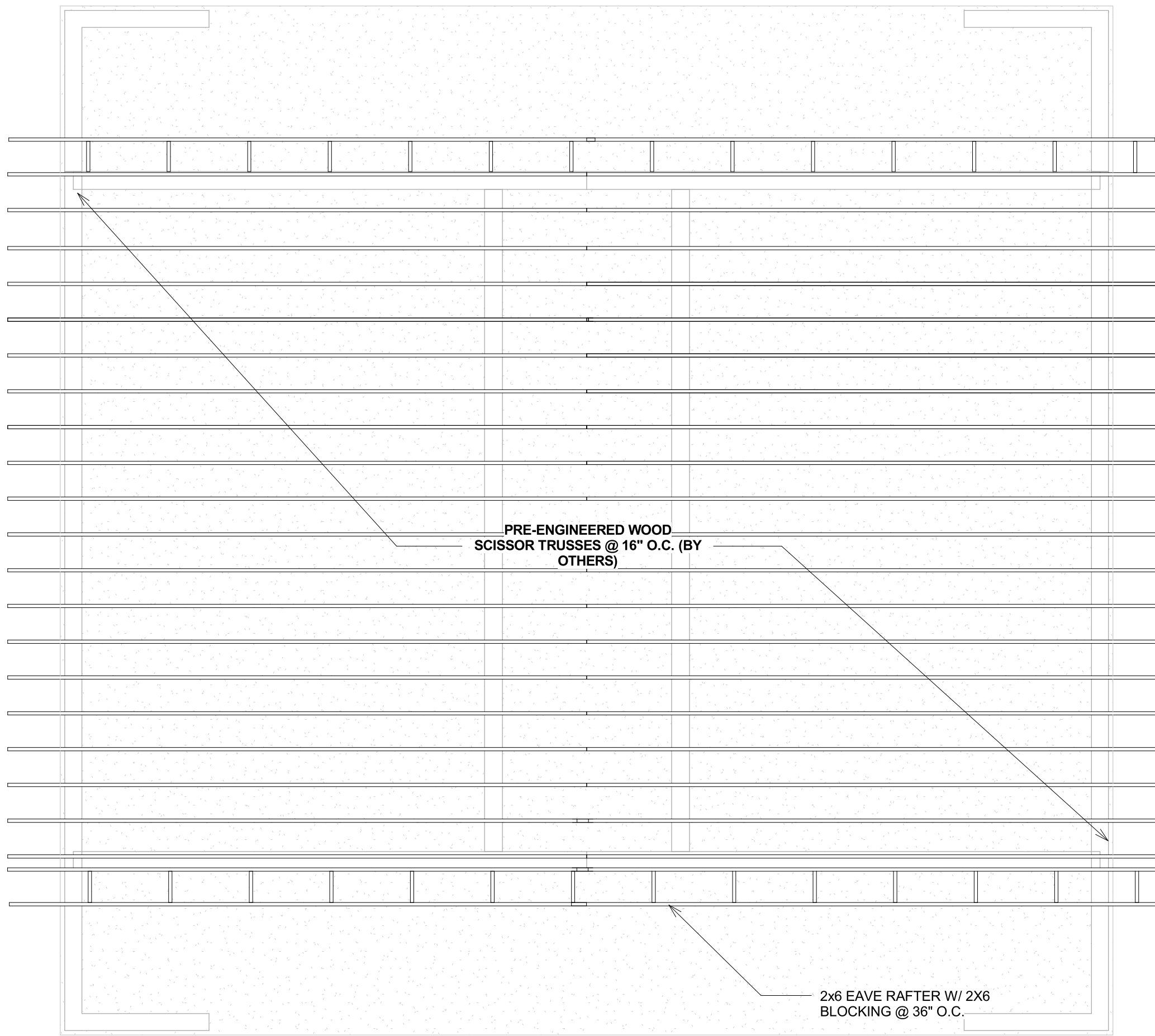
LB(S)	POINTS(S)
LFRS	LATERAL FORCE RESISTING SYSTEM
LLH/LV	LONG LEG HORIZONTAL/VERTICAL
LTWT	LIGHTWEIGHT
MTN	MINIMUM
MTL	METAL
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.C.W.	ON CENTER EACH WAY
O.D.	OUTER DIAMETER
O/O	OUTSIDE FACE TO OUTSIDE FACE
OPNG	OPENING
OPP	OPPOSITE
P.A.F.	POWDER ACTUATED FASTENER
PSF/I	POUNDS PER SQUARE FOOT / INCH
REF	REFERENCE
REIN	REVISION
REINFC	REINFORCING (REINFORCEMENT)
SCHEDULE	SCHEDULE
SF	SQUARE FOOT (FEET)
SIM	SIMILAR
STD	STANDARD
STRUCT	STRUCTURAL
SUSP	SUSPENDED
T&G	TONGUE & GROOVE
THRD	THREADED
THK	THICKNESS
T.O.C	TOP OF CONCRETE
T.O.F	TOP OF FOOTING
T.O.S.	TOP OF STEEL
T.O.W.	TOP OF WALL
TYP	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.B.	VAPOR BARRIER
VERT	VERTICAL
W	WITH
W/O	WITHOUT
WT	WEIGHT
W.W.M.	WELDED WIRE MESH (FABRIC)
#	POUNDS
Ø / DIA	DIAMETER

SCHEDULE OF SPECIAL INSPECTIONS					
IBC SECTION	MATERIAL / ACTIVITY	SERVICE	Y/N	EXTENT	APPLICABLE
1704.4	CONCRETE CONSTRUCTION				
	INSPECTION OF REINFORCING STEEL INSTALLATION	FIELD INSPECTION	Y	PERIODIC	
	INSPECTION OF PRESTRESSING STEEL INSTALLATION	IN-PLANT / FIELD REVIEW	N	PERIODIC	
	INSPECTION OF PRESTRESSED CONCRETE	IN-PLANT / FIELD REVIEW	N	CONTINUOUS	
	A. APPLICATION OF PRESTRESSING FORCE				
	B. GROUTING OF BONDED PRESTRESSING TENDONS IN-THE-BEAMS				
	INSPECTION OF CAST-IN-PLACE BOLTS PRIOR TO AND DURING PLACEMENT OF CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED PER IBC SECTION 1705.4	FIELD INSPECTION	N	CONTINUOUS	
	VERIFICATION OF REQUIRED DESIGN MIX	REVIEW SUBMITTALS	Y	PERIODIC	
	FRESH-CONCRETE SAMPLING	FIELD REVIEW	N	CONTINUOUS	
	INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	FIELD REVIEW	N	CONTINUOUS	
1704.5	MASONRY CONSTRUCTION				
	VERIFY PROPORTIONS OF SITE PREPARED MORTAR, GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS	FIELD AND SUBMITTAL REVIEW	Y	PERIODIC	
	VERIFY CONSTRUCTION OF MORTAR JOINTS	FIELD INSPECTION	Y	PERIODIC	
	VERIFY LOCATION OF REINFORCEMENT AND CONNECTORS AND PLACEMENT OF PRESTRESSING TENDONS AND ANCHORAGES	FIELD INSPECTION	N	PERIODIC	
	VERIFY PRESTRESSING TECHNIQUE	FIELD INSPECTION	N	PERIODIC	
	VERIFY SIZE AND LOCATION OF STRUCTURAL MASONRY ELEMENTS	FIELD AND SUBMITTAL REVIEW	N	PERIODIC	
	VERIFY TYPE, SIZE, AND LOCATION OF ANCHORS INCLUDING DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES, OR OTHER CONSTRUCTION	FIELD INSPECTION	N	LEVEL 1 - PRE LEVEL 2 - CONT.	
	VERIFY SIZE, GRADE, AND TYPE OF REINFORCEMENT	FIELD INSPECTION	Y	PERIODIC	
	VERIFY WELDING OF REINFORCING BARS	FIELD INSPECTION	N	CONTINUOUS	
	VERIFY PROTECTION OF MASONRY DURING HOT/COLD WEATHER	FIELD INSPECTION	N	PERIODIC	
1704.6	WOOD CONSTRUCTION				
	INSPECTION OF THE FABRICATION PROCESS OF WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES IN ACCORDANCE WITH SECTION 1704.2	IN-PLANT / REVIEW	N	PERIODIC	
	FOR CONJOINT DIAGRAMS, VERIFY NOMINAL SIZE OF FRAMING MEMBERS AT ADJOINING PANEL EDGES, NAIL OR STAPLE DIAMETER AND LENGTH, NUMBER OF FASTENERS, LINES, AND THAT SPACING BETWEEN FASTENERS IN EACH LINE AND AT EDGES, MARGINS AGREE WITH APPROVED BUD PLAN	FIELD INSPECTION	N	PERIODIC	
	SOILS				
	VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	FIELD INSPECTION	Y	PERIODIC	
	VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE BEEN BACKFILLED PROPER MATERIAL	FIELD INSPECTION	Y	PERIODIC	
	PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS	FIELD INSPECTION	N	PERIODIC	
	VERIFY SITE PREPARATION COMPLES WITH APPROVED SOILS REPORT	FIELD INSPECTION	Y	CONTINUOUS	
	VERIFY USE OF PROPER MATERIALS, DENSITIES, AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL	FIELD INSPECTION	N	CONTINUOUS	
	PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY	FIELD INSPECTION	N	PERIODIC	
1704.7	SOILS				
	VERIFY DRY DENSITY OF CONTROLLED FILL COMPLES WITH APPROVED SOILS REPORT	REVIEW FIELD TESTING	N	PERIODIC	

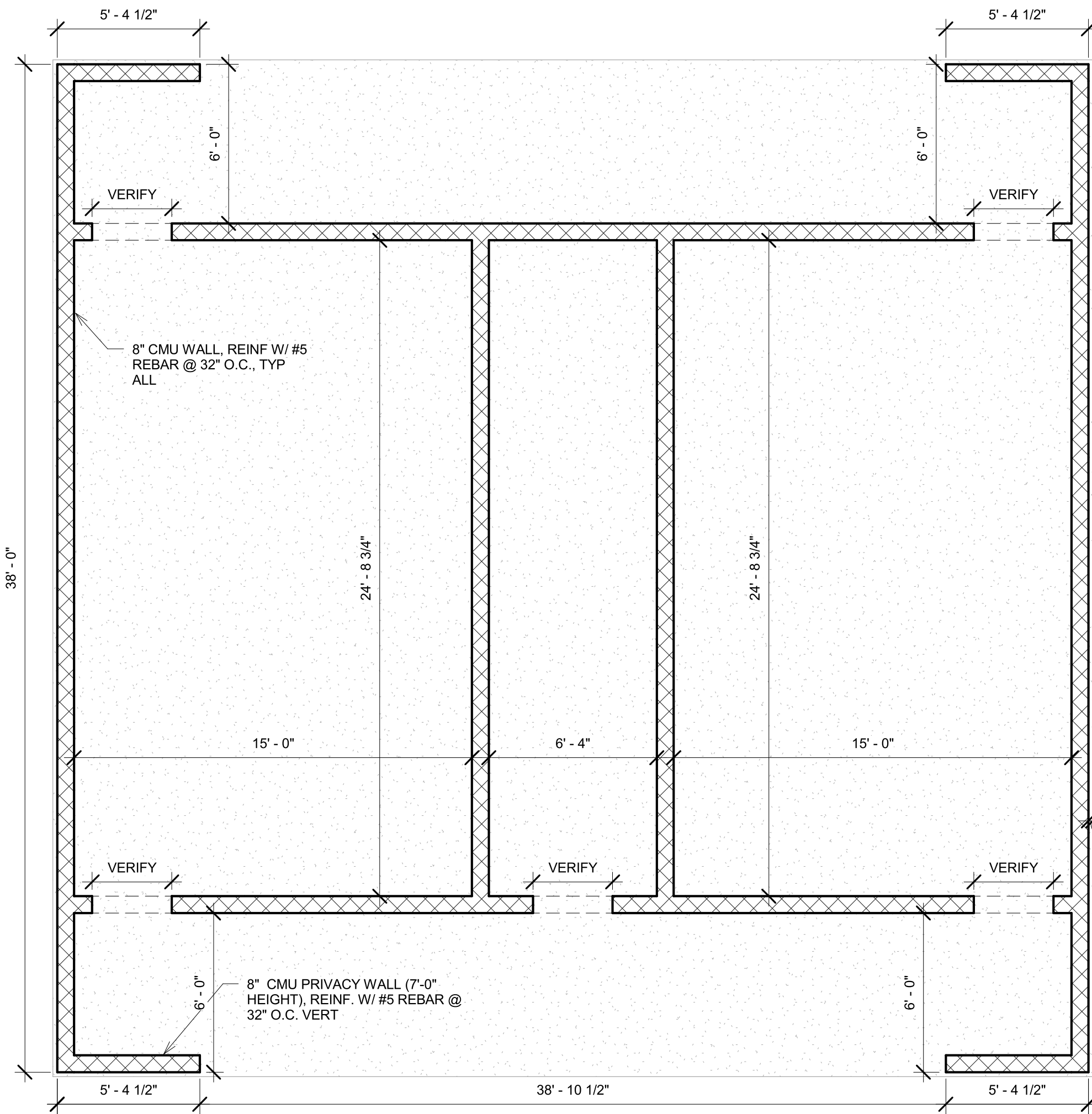
FASTENING SCHEDULE 2012 IBC TABLE 2004.9.1		
CONNECTION	FASTENINGS **	LOCATION
JOIST TO SILL OR GIRD	(3) - 8d COMMON	TORNAIL
BRIDGING TO JOIST	(3) - 8d COMMON	TORNAIL EACH END
1x6 SUBFLOOR OR LESS TO EACH JOIST	(3) - 8d COMMON	FACE NAIL
WIDER THAN 1x6 SUBFLOOR TO EACH JOIST	(3) - 8d COMMON	FACE NAIL
2 SUBFLOOR TO EACH JOIST	(3) - 8d COMMON	BLIND AND FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING	(6) COMMON @ 9" O.C.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT A BRACED WALL	(3) - 16d COMMON @ 9" O.C.	BRACED WALL PANELS
TOP PLATE TO STUD	(3) - 16d COMMON	END NAIL
STUD TO SOLE PLATE	(3) - 16d COMMON	TORNAIL
DOUBLE STUD	(3) - 16d COMMON @ 24" O.C.	END NAIL
DOUBLE TOP PLATE	(6) COMMON @ 9" O.C.	FACE NAIL
DOUBLE TOP PLATE	(3) - 16d COMMON @ 9" O.C.	TYPICAL FACE NAIL
DOUBLE TOP PLATE	(3) - 16d COMMON @ 9" O.C.	LAP SPLICE
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3) - 16d COMMON	TORNAIL
SM. JOIST TO TOP PLATE	(6) COMMON @ 9" O.C.	FACE NAIL
TOP PLATES, LAPS AND INTERSECTIONS	(6) COMMON @ 9" O.C.	FACE NAIL
CONTINUOUS HEADER - TWO PIECES	(6) COMMON	16" O.C. ALONG EDGE
CEILING JOIST TO PLATE	(3) - 16d COMMON	TORNAIL
CONTINUOUS HEADER TO STUD	(4) - 8d COMMON	TORNAIL
CEILING JOIST LEFT OVER PARTITION	(3) - 16d COMMON	FACE NAIL
CEILING JOIST PARALLEL TO RAFTERS	(3) - 16d COMMON	FACE NAIL
RAFTERS TO PLATE	(3) - 8d COMMON	TORNAIL
DIAGONAL BRACE TO EACH STUD AND PLATE	(3) - 8d COMMON	FACE NAIL
1x6 SHEATHING TO EACH BEARING	(3) - 8d COMMON	FACE NAIL
WIDER THAN 1x6 SHEATHING TO EACH BEARING	(3) - 8d COMMON	FACE NAIL
BUILT-UP CORNER STUDS	(6) COMMON	24" O.C.
BUILT-UP GIRDERS AND BEAMS	(20) COMMON 32" O.C.	
2 PLANKS	(3) - 20d COMMON	FACE NAIL AT ENDS AND EACH SPLICE
COLLAR TIE TO RAFTER	(3) - 10d COMMON	AT EACH BEARING
JOIST RAFTER TO JOIST	(3) - 16d COMMON	FACE NAIL
ROOF RAFTER TO 2x8Y ROOF BEAM	(3) - 16d COMMON	FACE NAIL
JOIST TO BAND JOIST	(3) - 16d COMMON	TORNAIL
LEADER STEP	(3) - 16d COMMON	FACE NAIL



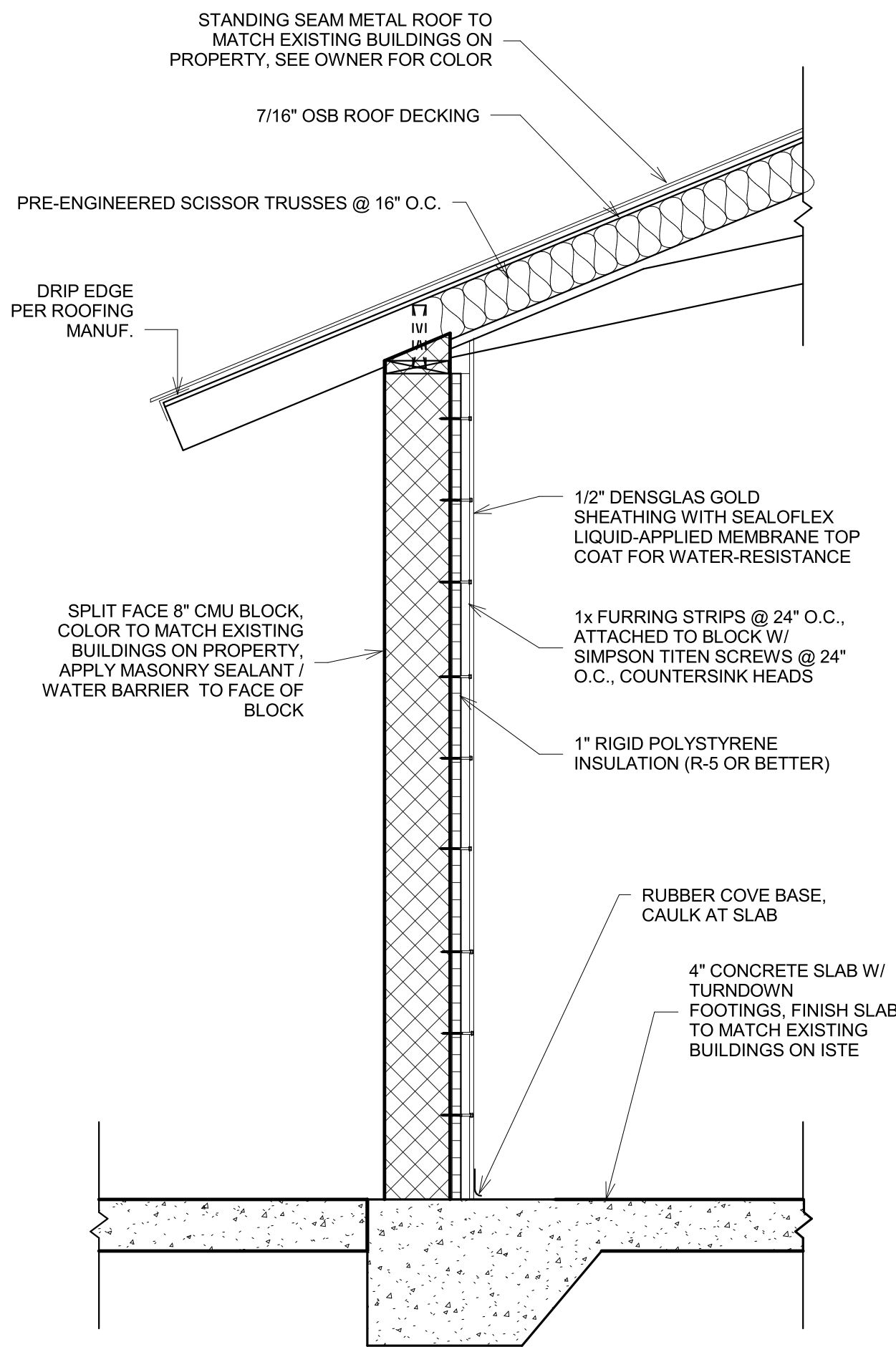
① FOUNDATION PLAN
1/4" = 1'-0"



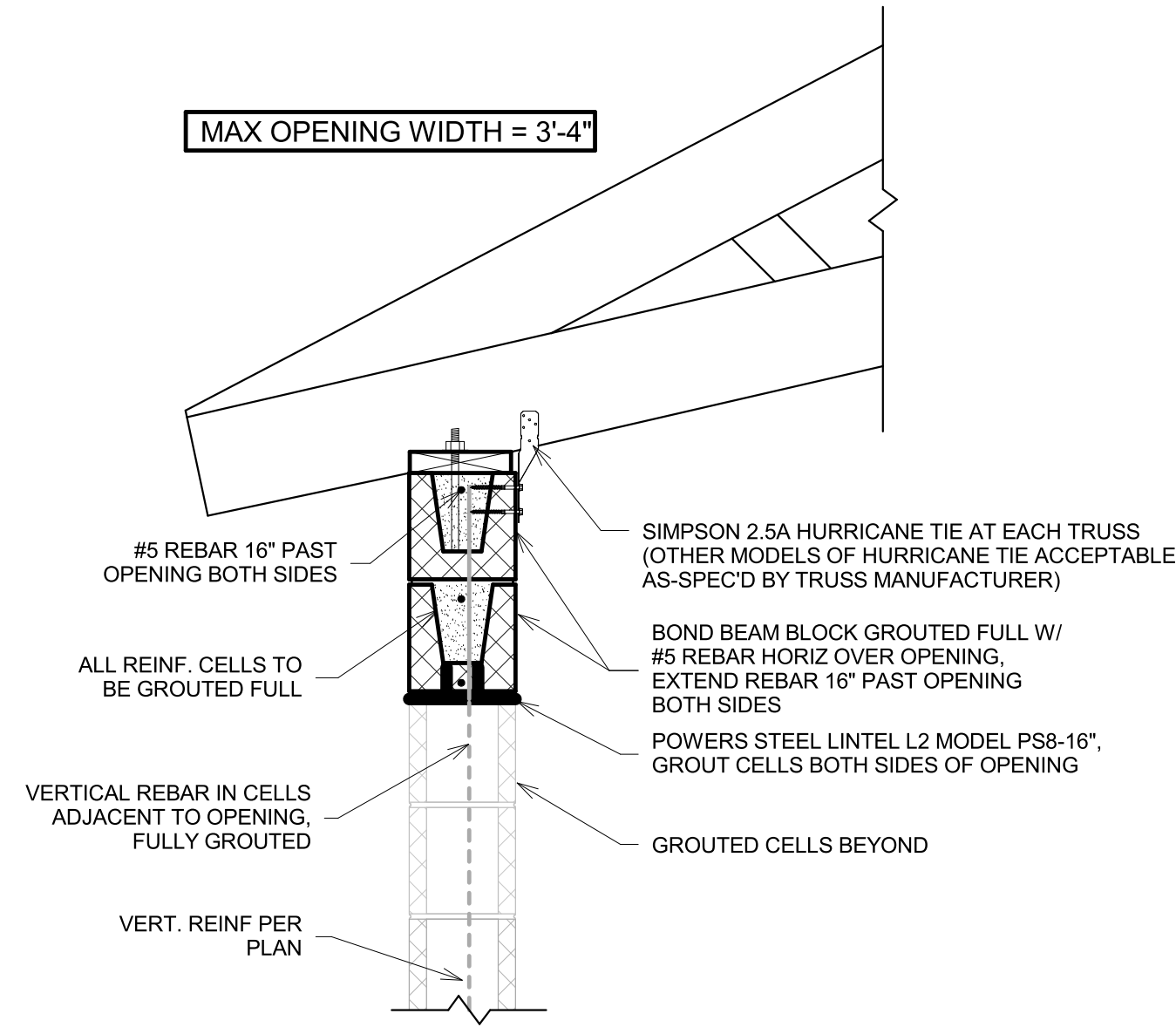
③ ROOF FRAMING
1/4" = 1'-0"



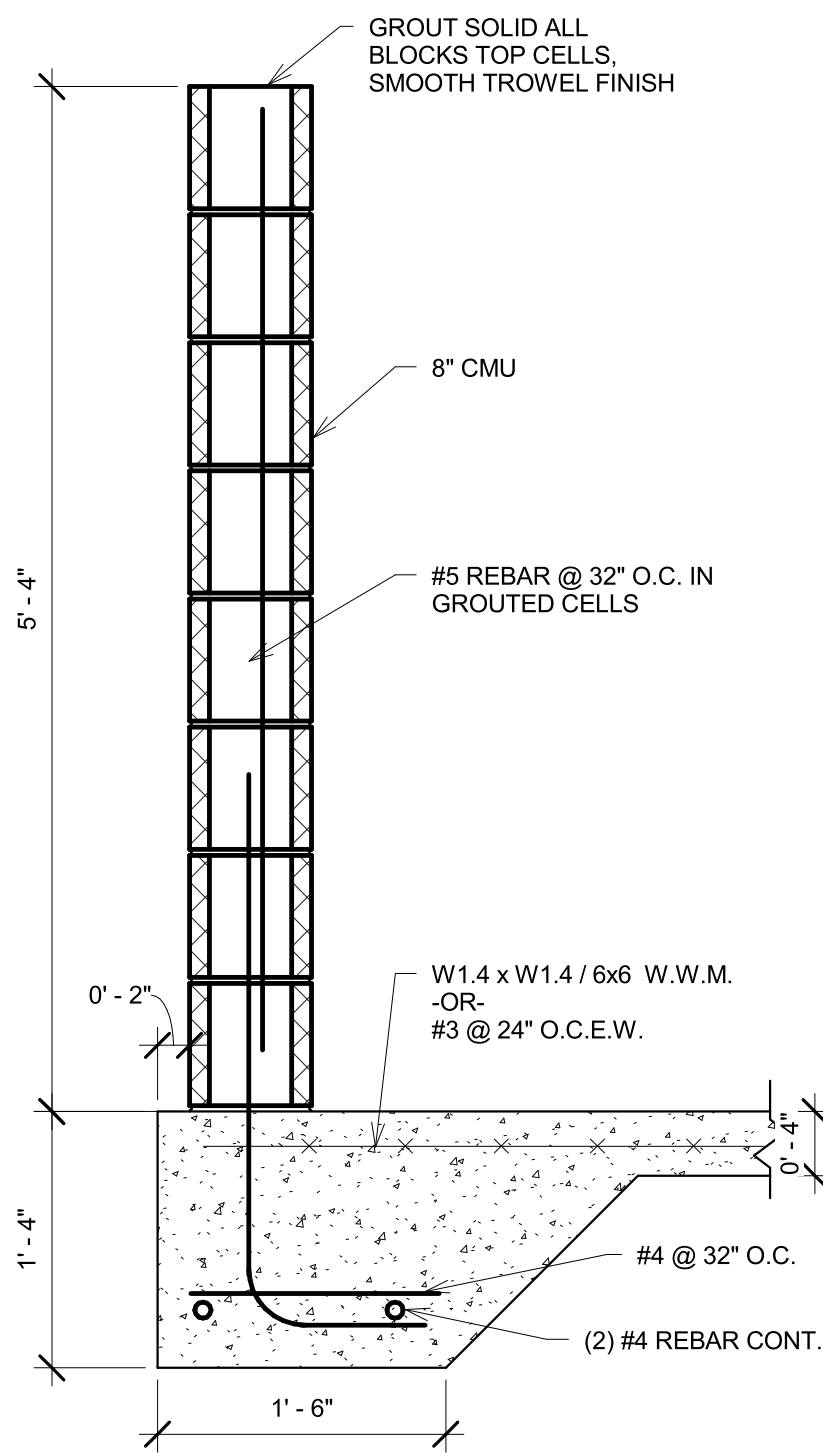
② CMU WALL PLAN
1/4" = 1'-0"



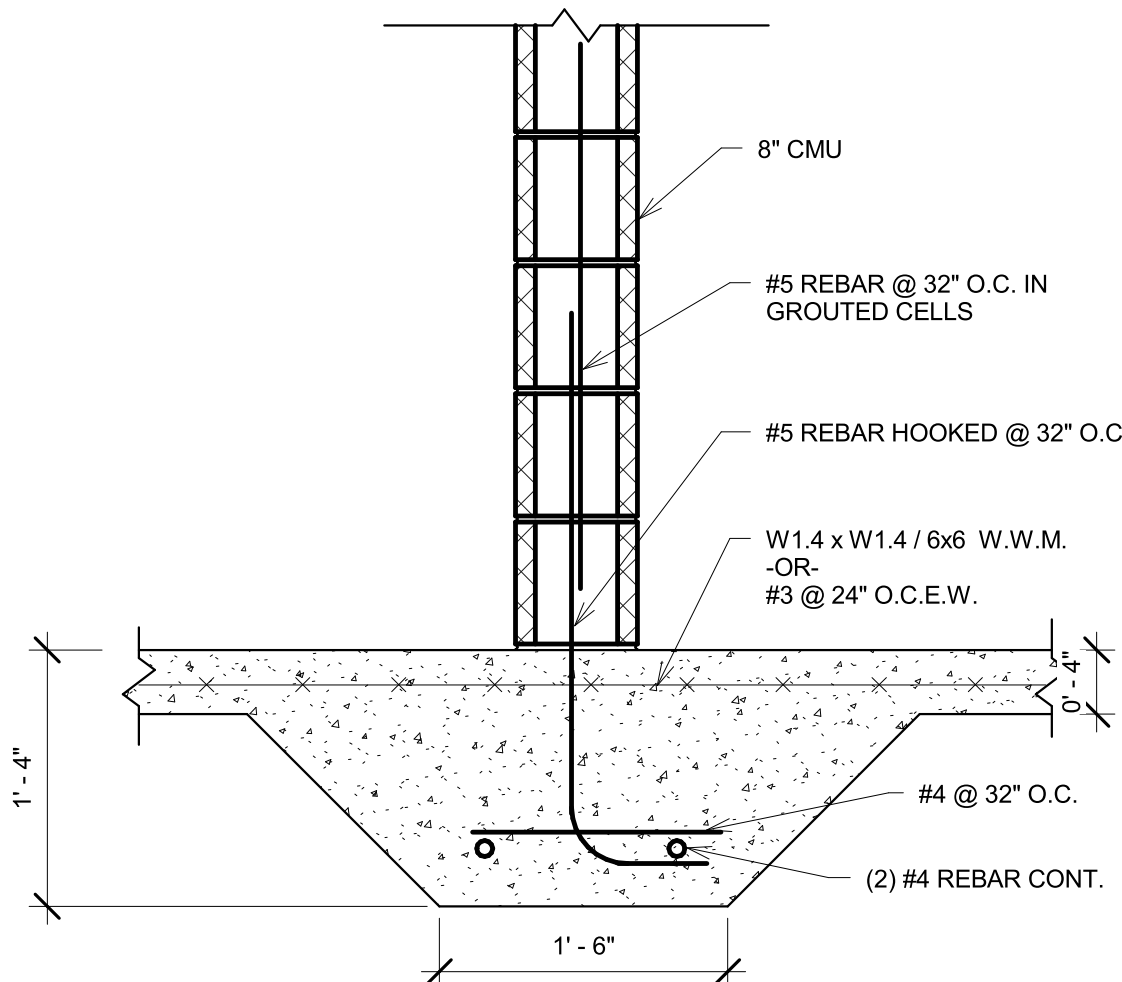
⑦ TYP WALL SECTION
3/4" = 1'-0"



⑥ CMU - WALL OPENING REINF.
1" = 1'-0"



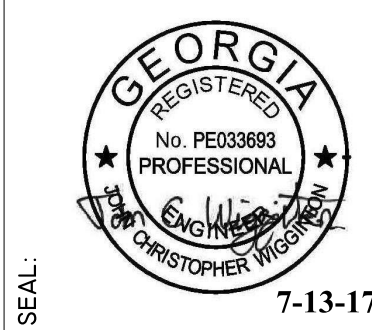
④ PRIVACY WALL SECTION
1" = 1'-0"



⑤ CMU WALL @ GRADE BEAM
1" = 1'-0"

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STRUCTURAL PLANS AND DETAILS

PROPOSED ENGINEERING DESIGN FOR THE
MCCURRY PARK RESTROOM
185 McDONOUGH RD. - FAYETTEVILLE, GA 30215

NOTES:

TECH
DRAWN: JCW
APPROVED: JCW
DATE: 7-10-17
JOB NO.: T17-034
SHEET NUMBER: 4 OF 9

S.1

MECHANICAL EQUIPMENT SCHEDULE							
MARK	MANUFACTURER	MODEL	FLOW RATE	ESP	POWER	DRIVE	TYPE COMMENTS
BR-1	GREENHECK	BR-30 SERIES	400 CFM	0.05	-	-	18"x18" BAROMETRIC RELIEF DAMPER WITH BIRD SCREEN
BR-2	GREENHECK	BR-30 SERIES	400 CFM	0.05	-	-	18"x18" BAROMETRIC RELIEF DAMPER WITH BIRD SCREEN
EF-1	GREENHECK	G-095-E	400 CFM	0.05	0.04 HP	DIRECT	ROOFTOP DIRECT DRIVE EXHAUST FAN
EF-2	GREENHECK	G-095-E	400 CFM	0.05	0.04 HP	DIRECT	ROOFTOP DIRECT DRIVE EXHAUST FAN
UH-1	MARKEL	H3424T	-	-	4000 W	-	WALLMOUNT ELECTRIC UNIT HEATER
UH-2	MARKEL	H3424T	-	-	4000 W	-	WALLMOUNT ELECTRIC UNIT HEATER
UH-3	MARKEL	H3424T	-	-	4000 W	-	WALLMOUNT ELECTRIC UNIT HEATER
UH-4	MARKEL	H3424T	-	-	4000 W	-	WALLMOUNT ELECTRIC UNIT HEATER

- SHEET NOTES:**
- EXHAUST IN BATHROOMS TO BE PROVIDED BY GREENHECK MODEL G-096-E ROOFTOP MOUNTED FANS (1 PER SIDE OF THE RESTROOM BUILDING, 2 TOTAL). FANS SHALL BE INTERLOCKED WITH LIGHTS, SIZED TO PROVIDE 400 CFM PER SIDE (800 CFM TOTAL BUILDING EXHAUST).
 - BATHROOM HEAT TO BE PROVIDED BY MARKEL MODEL H3424T UNIT HEATERS MOUNTED AT WALLS 8'-6" ABOVE FLOOR. HEATERS ARE TO BE 4kW EACH AND SHALL HAVE INTERGRAL THERMOSTATS.

- MECHANICAL SPECIFICATIONS:**
- REFER TO ALL OTHER DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE PROVISIONS THEREIN.
 - GENERAL NOTES ON THIS DRAWING ARE APPLICABLE TO EACH MECHANICAL DRAWING OF THIS SET. NOTES SPECIFIC TO INDIVIDUAL MECHANICAL DRAWINGS WILL BE SHOWN ON THE RESPECTIVE MECHANICAL DRAWING.
 - FURNISH AND INSTALL ALL NECESSARY LABOR AND MATERIALS FOR A COMPLETE SYSTEM. ANY APPLIANCES OR MATERIALS OBVIOUSLY A PART OF THE SYSTEM AND NECESSARY FOR ITS PROPER OPERATION, ALTHOUGH NOT SPECIFICALLY MENTIONED HEREIN, SHALL BE FURNISHED AND INSTALLED AS IF CALLED FOR IN DETAIL.
 - PRIOR TO SUBMITTING PROPOSAL, THE CONTRACTOR IS STRONGLY ENCOURAGED TO VISIT THE SITE AND THOROUGHLY INSPECT ALL EXISTING CONDITIONS TO INSURE THAT THE WORK REPRESENTED IN THE DRAWINGS CAN BE INSTALLED AS INDICATED.
 - ENTIRE INSTALLATION, INCLUDING MATERIALS, EQUIPMENT, AND WORKMANSHIP, SHALL CONFORM WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS OF MUNICIPAL, STATE AND FEDERAL AUTHORITIES.
 - THIS PROJECT SHALL CONFORM TO ALL APPLICABLE IBC, ASHRAE, NFPA, AND SMACNA CODES AND STANDARDS HAVING JURISDICTION OVER THE CLASS OF WORK.
 - MATERIALS AND EQUIPMENT SHALL HAVE STAMPS OR SEALS OF ARI, ASME, UL, AND/OR ASTM.
 - ALL EQUIPMENT MUST MEET OR EXCEED ALL REQUIREMENTS OF THE IECC-2006.
 - THE CONTRACTOR SHALL MAKE TESTS FOR ACCEPTANCE AND APPROVAL AS REQUIRED BY CODE AND THE REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, DOCUMENTS, AND SERVICES RELATED TO INSTALLATION OF THE WORK.
 - MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED AGAINST DEFECTS FOR ONE YEAR. PROVIDE ADDITIONAL FOUR-YEAR WARRANTY ON ALL COMPRESSORS.
 - PROTECT ALL MATERIALS AND EQUIPMENT FROM DAMAGE.
 - EQUIPMENT AND MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
 - THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OTHER TRADES IN ORDER TO RESOLVE ANY CONFLICT THAT MIGHT ARISE DUE TO THE LOCATION OF EQUIPMENT OR THE USE OF SPACE.
 - SPLIT SYSTEM HEAT PUMPS, ELECTRIC HEAT, AIR CONDITIONERS, AND GAS FURNACES EQUIVALENT BY CARRIER, LENNOX, OR TRANE. OUTSIDE AIR FANS AND EXHAUST FANS EQUIVALENT BY GREENHECK, LORENCOOK, OR ACME. AIR DISTRIBUTION DEVICES EQUIVALENT BY TITUS, PRICE, OR HART&COOLEY.
 - LOCATIONS SHOWN FOR EQUIPMENT ARE APPROXIMATE LOCATIONS. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND/OR STRUCTURAL ENGINEER TO ACCOMMODATE FIELD CONDITIONS.
 - DRAWINGS ARE GENERALLY DIAGRAMMATIC AND DO NOT NECESSARILY SHOW EVERY FITTING AND DETAIL. INSTALL DUCTS, PIPING, EQUIPMENT AND CONTROLS IN A NEAT WORKMAN LIKE MANNER, AND IN ACCORDANCE WITH GOOD PRACTICE FOR A COMPLETE WORKABLE INSTALLATION. AVOID CONFLICT WITH OTHER WORK; MAKE ADEQUATE PROVISIONS FOR PREVENTING NOISE AND VIBRATION. ARRANGE EQUIPMENT INTO THE AVAILABLE SPACE IN A MANNER TO MAKE ALL WORKING PARTS ACCESSIBLE FOR MAINTENANCE AND SERVICE.
 - CONSTRUCT AIR DUCTS IN ACCORDANCE WITH SMACNA DUCT MANUALS LATEST EDITION.
 - DUCTWORK MATERIALS SHALL BE GALVANIZED SHEET METAL AS MADE BY ARMO-CO OR EQUAL.
 - CONTRACTOR SHALL FIELD VERIFY AVAILABLE SPACE FOR DUCTWORK BEFORE FABRICATING. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF CONFLICTING FIELD CONDITIONS BEFORE PROCEEDING WITH ALTERATIONS.
 - PROVIDE INTERNAL INSULATION 1" THICK ACOUSTIC LINER WITH A NEOPRENE COATING ON THE AIR STREAM SIDE OF THE RETURN AIR DUCTWORK FOR A MINIMUM OF 10' FROM THE AIR HANDLER. ADHERE LINER TO DUCT WITH A 100% COVERAGE OF MINNESOTA MINING #33 AND WELDED PINS 18" O.C. INSULATING APPLIED TO TOP SURFACE SHALL OVERLAP SIDE PIECES. 2" DUCT BOARD MAY BE SUBSTITUTED FOR LINED SHEET METAL DUCT WHEN APPROVED BY OWNER AND INSTALLED IN ACCORDANCE WITH NAIMA FIBROUS GLASS DUCT CONSTRUCTION STANDARD.
 - INSULATE SUPPLY AIR DUCTS WITH 2" THICK GLASS FIBER BLANKET NOT LESS THAN 3/4 LB. DENSITY, WITH HEAVY ALUMINUM FOIL BARRIER. SECURE WITH ANNEALED STAINLESS STEEL WIRE AT 12" ON CENTER. SEAL ALL JOINTS AND PUNCTURES IN JACKET.
 - RUN ALL HORIZONTAL PIPING AND DUCTWORK ABOVE CEILING UNLESS OTHERWISE NOTED.
 - DUCTWORK SIZES ARE INSIDE CLEAR DIMENSIONS.
 - ALL ELBOWS IN DUCTWORK SHALL BE RADIUS ELBOWS WITH A CENTERLINE RADIUS OF 1.5 X DUCT WIDTH, UNLESS OTHERWISE NOTED. SQUARE ELBOWS ARE TO HAVE TURNING VANES.
 - RUN ALL EXPOSED PIPING AND DUCTWORK AS HIGH AS POSSIBLE UNLESS OTHERWISE NOTED. ALLOW FOR RISES, DROPS AND OFFSETS AS REQUIRED. ALL EXPOSED DUCTWORK TO BE SPIRAL DUCT WITH APPROPRIATE FITTINGS.
 - FOR ROUND DUCT TAKE-OFF FROM SHEET METAL DUCTS, USE GENFLEX MODEL NO. SM-10EL SPIN-IN FITTING WITH SCOOP AND DAMPER.
 - FLEXIBLE DUCTWORK SHALL BE ATCO TYPE #36 OR APPROVED EQUAL.
 - FLEXIBLE DUCT RUNOUTS TO CEILING DIFFUSERS SHALL BE INSTALLED FREE OF KINKS AND SAGS. ALL BRANCH DUCTWORK SHALL BE SIZED TO MATCH THE INLET/NECK OF THE DIFFUSERS SERVED.
 - PORTIONS OF DUCTWORK VISIBLE THROUGH SUPPLY AND RETURN AIR OPENINGS SHALL BE PAINTED FLAT BLACK.
 - MAKE DUCT PENETRATIONS OF ALL WALLS WITH SHEET METAL DUCTS. FLEXIBLE DUCT PENETRATIONS OF WALLS ARE NOT ACCEPTABLE.
 - COORDINATE WITH REFLECTED CEILING PLANS AND LIGHTING PLANS FOR EXACT LOCATION OF DIFFUSERS, REGISTERS, GRILLES, AND EXHAUST FANS. FINISHES AND COLORS TO BE SELECTED BY OWNER.
 - GRILLES, REGISTERS AND DIFFUSERS - REFER TO SCHEDULES.
 - UNDERCUT DOORS 1" IN ROOMS WITHOUT RETURN, DOOR GRILL OR TRANSFER DUCTS.
 - PROVIDE DYNAMIC FIRE DAMPERS IN ACCORDANCE WITH THEIR U.L. LISTING AND THE REQUIREMENTS OF IBC-2006 AND NFPA-90A.
 - INSTALL MECHANICAL EQUIPMENT TO FACILITATE SERVICING, MAINTENANCE, AND REPAIR OR REPLACEMENT OF EQUIPMENT COMPONENTS. AS MUCH AS PRACTICAL, CONNECT EQUIPMENT FOR EASE OF DISCONNECTING, WITH A MINIMUM OF INTERFERENCE WITH OTHER INSTALLATIONS. PIPING SHALL NOT INTERFERE WITH FILTER PULL OR COIL REMOVAL.
 - EXTEND DRAIN LINES TO NEAREST DRAIN OR AS INDICATED. ALL CONDENSATE DRAIN PIPING SHALL BE TRAPPED AND PITCHED DOWN IN DIRECTION OF FLOW A MINIMUM OF 1" PER 10 FEET.
 - PROVIDE AUXILIARY DRAIN PANS UNDER ALL EQUIPMENT WHICH IS NOT LOCATED WITHIN CURBED CONTAINMENT AREAS CONTAINING FLOOR DRAINS.
 - LOCATE AND SIZE 6" THICK CONCRETE HOUSEKEEPING PADS AND CURBS IN ACCORDANCE WITH ACTUAL EQUIPMENT PURCHASED. EXTEND PAD BEYOND EQUIPMENT 6" IN ALL DIRECTIONS.
 - PROVIDE VIBRATION SPRING ISOLATORS FOR ALL MOTORIZED EQUIPMENT.
 - DO NOT INSTALL EQUIPMENT, PIPING OR DUCTWORK IN ANY WAY THAT ENCROACHES ON ELECTRICAL EQUIPMENT OR ELECTRICAL SERVICE SPACE.
 - COORDINATE VOLTAGE AND PHASE OF EACH PIECE OF EQUIPMENT WITH ELECTRICAL CONTRACTOR BEFORE ORDERING.
 - FOR PACKAGED EQUIPMENT, THE MANUFACTURER SHALL PROVIDE CONTROLLERS INCLUDING THE REQUIRED MONITORS AND TIMED RESTART. PROVIDE REDUCED VOLTAGE STARTERS FOR ALL MOTORS 25 HP AND LARGER.
 - DISCONNECT AND CONVENIENCE OUTLET TO BE PROVIDED WITH ALL ROOF TOP UNITS. MECHANICAL WORK SHALL INCLUDE CONTROL AND INTERLOCK WIRING REQUIRED FOR PROPER OPERATION OF THE SYSTEM, AND SHALL INCLUDE FURNISHING OF RELAYS, MAGNETIC STARTERS OR CONTACTORS WHERE REQUIRED.
 - ALL DISCONNECT SWITCHES, VFD'S, MOTOR STARTERS - ADD NOTES FOR ELECTRICAL DISCONNECTS AND OUTLETS MECHANICAL WORK SHALL INCLUDE CONTROL AND INTERLOCK WIRING REQUIRED FOR PROPER OPERATION OF THE SYSTEM, AND SHALL INCLUDE FURNISHING OF RELAYS, VFD'S, MAGNETIC STARTERS OR CONTACTORS WHERE REQUIRED.
 - ANY EQUIPMENT MOTORS POWERED BY VFD SHALL BE VFD MOTORS.
 - ALL AIR HANDLERS TO BE PROVIDED WITH AT LEAST ONE MANUALLY OPERABLE MEANS TO STOP THE OPERATION OF THE SUPPLY, RETURN AND EXHAUST FANS IN AN EMERGENCY. COORDINATE EMERGENCY STOP LOCATION WITH ARCHITECTURAL PLANS.
 - CONTROLS CONTRACTOR SHALL PROVIDE AUTOMATIC CONTROL DEVICES, SUCH AS TEMPERATURE SENSORS, RELAYS, PRESSURE SWITCHES WHICH ARE ASSOCIATED WITH MECHANICAL EQUIPMENT AND ASSOCIATED CONTROL WIRING FROM STARTER TO THE CONTROL DEVICE. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRING FROM POWER SOURCE TO DISCONNECT SWITCH, FROM DISCONNECT SWITCH TO STARTER, AND FROM STARTER TO THE EQUIPMENT.
 - ALL CONTROL WIRING EXCEPT IN EQUIPMENT ROOMS SHALL BE RUN CONCEALED. WIRING IN WALLS SHALL BE IN CONDUIT. ALL WIRING SHALL BE PLENUM RATED. CONTROL WIRING IN EXPOSED AREAS SHALL BE BUNDLED AND SECURED OR RUN IN CONDUIT. NO WIRING SHALL BE SURFACE MOUNTED IN FINISHED SPACES. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.
 - ALL WIRING IN THE CEILING PLENUM SHALL BE PLENUM RATED CABLE OR IN CONDUIT.
 - LOCATE THERMOSTATS/TEMPERATURE SENSORS 54" ABOVE FINISHED FLOOR OR AS NOTED ON THE PLANS.
 - MECHANICAL CONTRACTOR SHALL PROVIDE AUTOMATIC CONTROL DEVICES, SUCH AS TEMPERATURE SENSORS, RELAYS, PRESSURE SWITCHES WHICH ARE ASSOCIATED WITH MECHANICAL EQUIPMENT AND ASSOCIATED CONTROL WIRING FROM STARTER TO THE CONTROL DEVICE. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRING FROM POWER SOURCE TO DISCONNECT SWITCH TO STARTER, AND FROM STARTER TO THE EQUIPMENT. UNLESS NOTED OTHERWISE, CONTROL CONTRACTOR SHALL WIRE CONTROL VALVES AND DAMPERS.
 - COMPLETION AND TESTS SHALL INCLUDE CLEANING AND LUBRICATION OF ALL EQUIPMENT, AND ADJUSTMENTS FOR PROPER OPERATION. ADJUST DAMPERS, REGISTERS AND DIFFUSERS FOR PROPER AIR DISTRIBUTION. CHECK SYSTEM UNDER ACTUAL OPERATING CONDITIONS AND MAKE ADJUSTMENTS FOR A UNIFORM TEMPERATURE THROUGH THE CONDITIONED SPACE.
 - FURNISH TO THE OWNER ONE COPY OF OPERATING INSTRUCTIONS, MANUFACTURER'S PARTS DATA AND SERVICE INSTRUCTIONS.
 - THE CONTRACTOR SHALL HAVE AN INDEPENDENT A.A.B.C. CERTIFIED TEST AND BALANCE COMPANY PERFORM AND SUBMIT 3 COPIES OF THE TEST AND BALANCE REPORT PRIOR TO ARCHITECTS FINAL PUNCH LIST.

EXHAUST CALCULATIONS (PER ASHRAE 62.1-2007)

RESTROOM AREA = 742 SF TOTAL
MECHANICAL AREA = 157 SF TOTAL

TOTAL AREA = 899 SF

FOR BATHROOM SPACES, 70 CFM EXHASUT REQUIRED PER FIXTURE
FIXTURES TOTAL = 10

10 FIXTURES x 70 CFM/FIXTURE = 700 CFM EXHAUST REQUIRED

FOR MECHANICAL SPACE, 1 CFM EXHASUT REQUIRED PER SF AREA
AREA = 157 SF

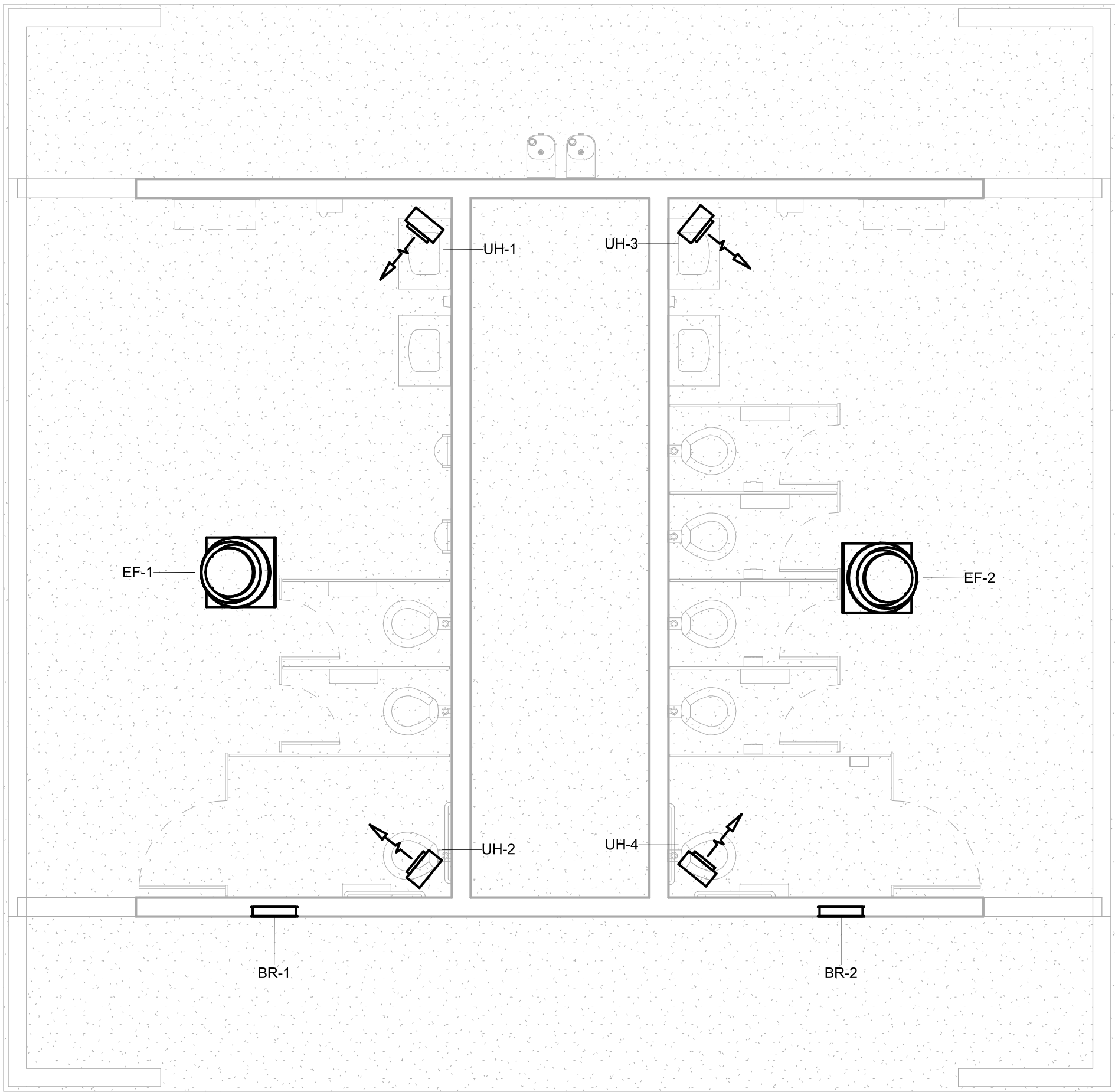
157 SF x 1 CFM/SF = 157 CFM EXHAUST REQUIRED

TOTAL EXHAUST REQUIRED = 700 CFM + 157 CFM = **857 CFM**

DESIGN CONDITIONS:

OUTSIDE SUMMER DRY BULB TEMPERATURE = 94 F
OUTSIDE SUMMER WET BULB TEMPERATURE = 74 F
OUTSIDE WINTER DRY BULB TEMPERATURE = 17 F

INDOOR DESIGN CONDITIONS = N/A (HEATERS HAVE BEEN SIZED TO MAINTAIN TEMPERATURE NECESSARY FOR FUNCTIONALITY OF PLUMBING AND FIXTURES, NOT COMFORT; NO A/C IS PROVIDED)

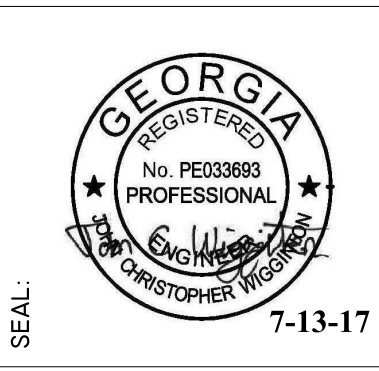


1 MECHANICAL PLAN
1/4" = 1'-0"

REVISIONS				



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MECHANICAL PLANS AND DETAILS

PROPOSED ENGINEERING DESIGN FOR THE
McCURRY PARK RESTROOM
185 McDONOUGH RD. - FAYETTEVILLE, GA 30215

NOTES:

TECH	JCW
APPROVED:	7-10-17
DATE:	T17-034
JOB NO.:	5
SHEET:	OF 9
SHEET NUMBER:	M.1

GENERAL ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE GEORGIA STATE MINIMUM STANDARD ELECTRIC CODE (NFA 70: NATIONAL ELECTRICAL CODE WITH GEORGIA STATE AMMENDMENTS) AND ALL LOCAL AMMENDMENTS, CONSTRUCTION CODES, AND ORDINANCES.
2. DRAWINGS SHOWING ELECTRICAL WORK ARE DIAGRAMMATIC. THE CONSTRUCTION MANAGER SHALL REFER TO ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS FOR GUIDANCE AS TO DIMENSIONS, CEILING HEIGHTS, DOOR SWINGS, ROOM FINISHES, ARCHITECTURAL DETAILS, AND LOCATIONS OF EQUIPMENT. PIPES, MECHANICAL SYSTEM EQUIPMENT AND OUTLETS, AND THE LIKE. AND SHALL: A. INSTALL THE ELECTRICAL SYSTEMS WITHOUT INTERFERENCE WITH OBSTRUCTIONS. B. LOCATE LIGHTING FIXTURES AS INDICATED ON REFLECTED CEILING PLANS AND INTERIOR DETAILS IN CORRECT RELATION TO FINISHED AREAS (MAKE MINOR ADJUSTMENTS IN FIXTURE LOCATIONS AS NECESSARY TO CLEAR OBSTRUCTIONS). C. PROVIDE ADDITIONAL STEEL SUPPORTS FOR MOTOR CONTROLLERS, FIXTURES, RACEWAYS, CABINETS, BOXES, AND THE LIKE WHERE THE BUILDING, EQUIPMENT, OR STRUCTURE IS NOT SUITABLE FOR MOUNTING SAME DIRECTLY THEREON.
3. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE PLANS (APPROVED BY THE AHJ), ONE COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED AT THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYING ALL FEES REQUIRED BY THE CONSTRUCTION PROPOSED IN THESE PLANS.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND THE DESIGN ENGINEER. THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL, ALL SITE VISITORS, AND THE GENERAL PUBLIC WHO MAY BE AFFECTED BY THE CONSTRUCTION.
6. ALL ESTIMATES OF QUANTITIES SHOWN IN THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR / SUBCONTRACTOR, WHO SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND PROVIDING THE WORK AND MATERIALS AS SHOWN ON THESE PLANS.
7. ON WIRING PLANS, A NUMERAL BESIDE A BRANCH CIRCUIT OUTLET INDICATES THE PANELBOARD CIRCUIT CONNECTION. A LOWER CASE LETTER BESIDE A LIGHTING FIXTURE SHALL INDICATE THE SWITCH LEG CONNECTION. UPPER CASE LETTER BESIDE LIGHTING FIXTURE INDICATES FIXTURE TYPE. SEE LIGHTING FIXTURE SCHEDULE.
8. WHERE HOME RUNS TO A MULTIPLE POLE BREAKER ARE SHOWN, THE CIRCUIT IS IDENTIFIED ONLY BY THE NUMBER OF THE FIRST POLE.
10. THE TERM "PROVIDE" USED IN THE SPECIFICATIONS AND DRAWINGS SHALL MEAN "TO FURNISH, INSTALL, CONNECT, AND PLACE IN SERVICE. COMPLETELY IN THE SPECIFIED OR APPROVED MANNER, THE ITEM DESCRIBED."
11. ELECTRICAL EQUIPMENT ENCLOSURES SHALL BE NEMA 1 FOR INDOOR USE, NEMA 3R FOR OUTDOOR USE WHEN EQUIPMENT IS MOUNTED GREATER THAN 18" ABOVE GRADE, AND NEMA 3X FOR OUTDOOR USE WHEN EQUIPMENT IS MOUNTED LESS THAN 18" ABOVE GRADE.
12. ELECTRICAL WORK EMBEDDED IN CONCRETE OR OTHERWISE PERMANENTLY CONCEALED SHALL NOT BE COVERED UNTIL INSPECTED BY THE OWNER'S REPRESENTATIVE.
13. ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE FIRESTOPPED IN ACCORDANCE WITH FIRESTOPPING SPECIFICATIONS.
14. REFER TO PARTITION LEGEND ON ARCHITECTURAL FLOOR PLANS FOR FIRE RATINGS OF WALL PARTITIONS.

BASIC MATERIALS AND METHODS:

GENERAL

1. ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
2. ALL MATERIAL SHALL BE NEW, CLEAN AND RATED FOR THE USE IN THE AREA FOR WHICH IT IS TO BE INSTALLED.
3. LISTED OR LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING OR LABELING.

IDENTIFICATION

1. CONTRACTOR SHALL LEGIBLY LABEL EACH DISCONNECTING MEANS TO INDICATE ITS PURPOSE. THE MARKING SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.
2. UPON COMPLETION OF WORK, ALL BREAKERS SHALL BE LABELED WITH TYPED SCHEDULES AND AFFIXED TO THE INSIDE COVER.
3. SWITCHBOARDS, PANELBOARDS, INDUSTRIAL CONTROL PANELS, METER SOCKET ENCLOSURES, AND MOTOR CONTROL CENTERS THAT ARE IN OTHER THAN DWELLING OCCUPANCIES SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASH HAZARDS. THE MARKING SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE TO QUALIFIED PERSONS BEFORE EXAMINATION, ADJUSTMENT, SERVICING, OR REMOVAL OF THE EQUIPMENT.

CONDUCTORS AND CONDUIT

1. ALL CONDUCTORS SHALL BE COPPER. ALL CONDUCTORS SHALL BE 12 AWG AND RATED FOR 75°C UNLESS NOTED ON PLANS.
2. ALL WIRING SHALL BE INSTALLED IN EMT CONDUIT (IN ACCORDANCE WITH ARTICLE 358) OR MC TYPE CABLE (IN ACCORDANCE WITH ARTICLE 330).
3. CONDUIT INSTALLED IN CONCRETE FLOOR SHALL BE RIGID METAL (IN ACCORDANCE WITH ARTICLE 344).
4. EQUIPMENT FIXTURE WHIPS LESS THAN 6 FEET IN LENGTH CONNECTING THE EQUIPMENT TO THE DISCONNECTING MEANS SHALL BE INSTALLED IN LIQUID TIGHT NONMETALLIC FLEXIBLE CONDUIT (LFNC) FOR EXTERIOR PPLICATIONS (IN ACCORDANCE WITH ARTICLE 356) AND IN FLEXIBLE METAL CONDUIT (FMC) FOR INTERIOR APPLICATIONS (IN ACCORDANCE WITH ARTICLE 348).
5. ALL WIRING SHOWN ON PLANS TO CONSIST OF (2)#12 AWG AND (1)#12 AWG EQUIPMENT GROUND. U.N.O.
6. NON-METALLIC SHEATHED (NM) WIRE MAY BE USED FOR 20 AMPERE BRANCH AND LIGHTING CIRCUITS IN TYPE-V CONSTRUCTION WITH WRITTEN PERMISSION OF THE AHJ. CONTRACTOR TO DE-RATE WIRE SIZES SHOWN ON PLANS TO 60°C AND UPSIZE NM WIRES ACCORDINGLY.
7. ALL WIRING SHALL BE INSTALLED WITH SUITABLE BENDING SPACE DEFINED BY ARTICLE 314.28.
8. BRANCH CIRCUIT CONDUCTORS SHALL BE IDENTIFIED USING THE PROVISIONS OF ARTICLE 210.5
9. FEEDER CIRCUIT CONDUCTORS SHALL BE IDENTIFIED USING THE PROVISIONS OF ARTICLE 215.12
10. PROVIDE IDENTIFICATION FOR GROUNDING CONDUCTORS OF SEPARATE SYSTEMS IN ACCORDANCE WITH ARTICLE 200.6(D).

EQUIPMENT

1. ALL DEVICES SHALL BE RATED FOR THE CIRCUIT IN WHICH IT IS ATTACHED.
2. ELECTRICAL CONTRACTOR SHALL INSTALL ALL EQUIPMENT WITH WORKING SPACES AS REQUIRED BY ARTICLE 110.26.
3. UNUSED CABLE OR RACEWAY OPENINGS IN BOXES, RACEWAYS, AUXILIARY GUTTERS, CABINETS, CUTOUT BOXES, METER SOCKET ENCLOSURES, EQUIPMENT CASES, OR HOUSINGS SHALL BE EFFECTIVELY CLOSED TO AFFORD PROTECTION SUBSTANTIALLY EQUIVALENT TO THE WALL OF THE EQUIPMENT. WHERE METALLIC PLUGS OR PLATES ARE USED WITH NONMETALLIC ENCLOSURES, THEY SHALL BE RECESSED AT LEAST 6 MM (1/4 IN.) FROM THE OUTER SURFACE OF THE ENCLOSURE.
4. CONTRACTOR SHALL TORQUE ALL MECHANICAL FASTENERS AND CONNECTIONS IN ACCORDANCE WITH MANUFACTURERS LISTED SPECIFICATIONS/INSTRUCTIONS. IF TORQUE VALUES ARE NOT LISTED, FOLLOW THE TORQUE RECOMMENDATIONS IN THE NEC HANDBOOK, COMMENTARY TABLES 1.2 THRU 1.5.
5. PROVIDE PROPERLY SIZED BOLTS FOR THE CONNECTION BEING MADE. UNDERSIZED BOLTS AND FENDER WASHERS ARE NOT ACCEPTABLE.
6. OWNER SHALL SELECT THE COLOR OF ALL EXPOSED OUTLETS, RECEPTACLES, AND COVER PLATES.

LIGHTING

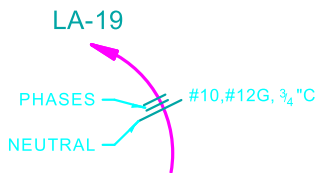
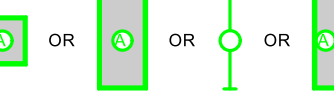


































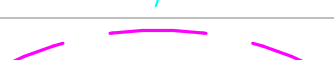






1. PROVIDE AND INSTALL LIGHTING FIXTURES AS SPECIFIED AND APPROVED BY OWNER. PRIOR TO ORDERING OR INSTALLING, PROVIDE CUT SHEETS TO OWNER FOR APPROVAL. NO FIXTURE SHALL EXCEED THE POWER RATING SPECIFIED IN THE FIXTURE SCHEDULE. PROVIDE NEW CREEP BULBS.

GROUNDING

1. CONTRACTOR SHALL USE ALL AVAILABLE METHODS OF GROUNDING TO FORM A GROUNDING SYSTEM PER NEC ARTICLE 250.50.
2. PROVIDE A MAIN BONDING JUMPER INSIDE SERVICE EQUIPMENT CONNECTING THE EQUIPMENT GROUNDING BUS BAR WITH THE GROUNDING CONDUCTOR (NEUTRAL) BUS BAR.
3. MAIN BONDING JUMPERS ARE NOT REQUIRED FOR FEEDER PANELBOARDS PROVIDED THEY ARE FED WITH A SEPARATE EQUIPMENT GROUNDING CONDUCTOR (GREEN WIRE).
4. WHERE THE MAIN BONDING JUMPER IS A SCREW ONLY, THE SCREW SHALL BE IDENTIFIED WITH A GREEN FINISH AND BE VISIBLE WITH THE SCREW INSTALLED.
5. ELECTRICAL CONTRACTOR TO PROVIDE A (4) LUG MINIMUM EXTERIOR-RATED EQUIPMENT GROUNDING BUS BAR CONNECTED TO THE GROUNDING SYSTEM AT THE SERVICE ENTRANCE TO EFFECTIVELY GROUND ALL LOW VOLTAGE WIRING BEFORE IT ENTERS THE BUILDING.

LOW VOLTAGE

1. COORDINATE EXACT PHONE AND DATA OUTLETS WITH OWNER.
2. AT ALL PHONE AND DATA OUTLET LOCATIONS, ELECTRICAL CONTRACTOR TO PROVIDE A JUNCTION BOX AND 3/4" EMT CONDUIT STUBBED UP ABOVE CEILING WITH A PULL STRING.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
GENERAL	
	LA - 19 ADJACENT TO ARROW INDICATES HOMERUN OF CIRCUIT 19 TO PANEL "LA" MARKS ACROSS RACEWAYS FOR LIGHTING AND RECEPTACLE LOADS INDICATE THE NUMBER OF #12 AWG PHASE AND #12 NEUTRAL CONDUCTORS IN RACEWAY. WHEN #10 IS SHOWN ADJACENT TO HOMERUN IT SHALL INDICATE THAT PHASE AND NEUTRAL CONDUCTORS ARE #10 AWG FOR ENTIRE BRANCH CIRCUIT. UNO. NO MARKS ACROSS RACEWAY INDICATE ONE PHASE AND ONE NEUTRAL CONDUCTORS. WHEN #12G IS SHOWN ADJACENT TO HOMERUN IT SHALL INDICATE THAT THE GROUND WIRE IS #12 AWG FOR THE ENTIRE BRANCH CIRCUIT. WHEN "1" C IS SHOWN ADJACENT TO HOMERUN IT SHALL INDICATE THAT THE CONDUIT SIZE IS 1", EMT. MULTI-CIRCUIT HOMERUNS TO BE 1" EMT CONDUIT UNO. SINGLE CIRCUIT HOMERUNS TO 80% EMT CONDUIT UNO.
LIGHTING	
	FLUORESCENT LIGHT FIXTURE AND OUTLET BOX. LETTER INDICATES FIXTURE IDENTIFICATION, SEE LIGHTING FIXTURE SCHEDULE
	DOWNLIGHTING FIXTURE. LETTER INDICATES FIXTURE IDENTIFICATION, SEE LIGHTING FIXTURE SCHEDULE
	WALL MOUNT LIGHT FIXTURE. LETTER INDICATES FIXTURE IDENTIFICATION, SEE LIGHTING FIXTURE SCHEDULE
	FLOOD LIGHT. LETTER INDICATES FIXTURE IDENTIFICATION, SEE LIGHTING FIXTURE SCHEDULE
	TRACK LIGHTING. LETTER INDICATES FIXTURE IDENTIFICATION, SEE LIGHTING FIXTURE SCHEDULE
	UNDERCABINET LIGHTING. LETTER INDICATES FIXTURE IDENTIFICATION, SEE LIGHTING FIXTURE SCHEDULE
	WALL MOUNTED FLUORESCENT LIGHTING. LETTER INDICATES FIXTURE IDENTIFICATION, SEE LIGHTING FIXTURE SCHEDULE
	CEILING OR WALL MOUNTED EXIT SIGN, PROVIDE ARROWS AS INDICATED, SINGLE FACE OR DOUBLE FACE AS INDICATED BY SHADING
	CEILING OR WALL MOUNTED EMERGENCY LIGHTING
	CEILING OR WALL MOUNTED COMBINATION EXIT AND EMERGENCY LIGHTS, PROVIDE ARROWS AS INDICATED, SINGLE FACE OR DOUBLE FACE AS INDICATED BY SHADING
	EGRESS/EMERGENCY LIGHT FIXTURE. LETTER INDICATES FIXTURE TYPE
	NIGHT LIGHT OR SECURITY LIGHT, FIXTURE IS CONTROLLED BY CIRCUIT BREAKER
RECEPTACLES & COMMUNICATIONS	
	SINGLE RECEPTACLE. NEMA 5 —20R, UNO.
	SINGLE RECEPTACLE. NEMA 5 —20R, UNO. MT 44" AFF OR 6" ABOVE COUNTER TOP
	DUPLEX RECEPTACLE. NEMA 5 —20R, UNO. SUBSCRIPT: TV=TELEVISION POWER OUTLET, (IG INDICATES ISOLATED GROUND) (E INDICATES EMERGENCY RECEPTACLE), (GFI INDICATES GROUND FAULT INTERRUPT PROTECTED)
	DUPLEX RECEPTACLE. NEMA 5 —20R, UNO. MT 44" AFF OR 6" ABOVE COUNTER TOP SUBSCRIPT: (IG INDICATES ISOLATED GROUND), (GFI INDICATES GROUND FAULT INTERRUPT PROTECTED)
	QUADRAPLEX RECEPTACLE NEMA 5 —20R, UNO. (IG INDICATES ISOLATED GROUND)
	SUSPENDED FROM CEILING OR WALL MOUNTED SPECIAL PURPOSE RECEPTACLE TO MATCH EQUIPMENT PLUG OR AS NOTED
	FLOOR BOX RECEPTACLE, 120V, 20A, PROVIDE BRASS COVER AND TRIM
	CEILING MOUNTED RECEPTACLE, 120V, 20A
	WALL MOUNTED CABLE TELEVISION OUTLET BY OTHERS. PROVIDE 1/2" EMPTY CONDUIT.
	WALL MOUNTED DATA OUTLET BY OTHERS. PROVIDE 1/2" EMPTY CONDUIT.
	WALL MOUNTED (VOICE) TELEPHONE OUTLET. PROVIDE 2 GANG BOX WITH SINGLE GANG PLASTER RING. EXTEND 3/4" C FROM BOX TO ABOVE ACCESSIBLE CEILING. TERMINATE CONDUIT WITH AN INSULATED BUSHING. PROVIDE PULL STRING IN CONDUIT.
	COMBINATION WALL MOUNTED COMMUNICATIONS OUTLETS. PROVIDE ONE VOICE & ONE DATA OUTLET. OUTLETS BY OTHERS. ELECTRICAL CONTRACTOR TO PROVIDE 1" EMPTY CONDUIT W/ PULL LINE
	JUNCTION BOX. TO BE MOUNTED ABOVE CEILING. UNO. SUBSCRIPT: T = TELECOMMUNICATIONS, D = DATA
	JUNCTION BOX. TO BE WALL MOUNTED. UNO. SUBSCRIPT: T = TELECOMMUNICATIONS, D = DATA
SWITCHES	
	SINGLE POLE SWITCH. SUBSCRIPT: L = LOCKING COVER; HUBBELL CAT. NO. 86061, K = KEYTYPE, P = PILOT LIGHT
	THREE-WAY SWITCH. SUBSCRIPT: K = KEY TYPE
	FOUR-WAY SWITCH
	SWITCH: PROVIDE MOTION ACTIVATED SWITCH TO TURN OFF LIGHTS 30 MIN AFTER ROOM WAS LAST OCCUPIED, LITHONIA LIRY MVL0LT WH U.N.O., PER IECC 701.1
	MOTOR RATED SWITCH WITH NO OVERLOADS
	2000 W, 120V SLIDE DIMMER, HUBBELL CAT AS203
	2 HOUR ROTARY TIMER SWITCH WITHOUT HOLD FEATURE
DEVICES	
	MOTOR, HORSEPOWER AS INDICATED BY NUMBER
	MOTOR, FRACTIONAL HORSEPOWER, 1/4 = HP
	FLUSH OR SURFACE MOUNTED, 277/480V, 3 PHASE, 4W PANEL BOARD, REFER TO PANEL SCHEDULES
	FLUSH OR SURFACE MOUNTED, 120/208V, 3 PHASE, 4W PANEL BOARD, REFER TO PANEL SCHEDULES
	NON-FUSED SAFETY SWITCH: SWITCH AMPS/POLES/NEMA ENCLOSURE
	FUSED SAFETY SWITCH: FUSE SIZE/SWITCH AMPS/POLES/NEMA ENCLOSURE
	COMBINATION STARTER/FUSED DISCONNECT SWITCH: FUSE SIZE/SWITCH AMPS/NEMA SIZE/NEMA ENCLOSURE
	MAGNETIC MOTOR STARTER: NEMA SIZE/NEMA ENCLOSURE
	CIRCUIT BREAKER IN NEMA ENCLOSURE: SIZE/NEMA ENCLOSURE
	DRY TYPE TRANSFORMER, TA = IDENTIFICATION
	TELEPHONE / TELECOMMUNICATIONS BACKBOARD
	CEILING MOUNTED ULTRASONIC OCCUPANCY SENSOR. WATT STOPPER CAT. NO. WT-2200 OR EQUAL. DIRECTIONAL ARROWS INDICATE SENSOR ORIENTATION
	CONTACTOR
	PHOTOCELL
CIRCUITRY	
	CONDUIT UP / CONDUIT DOWN
	RACEWAY INSTALLED CONCEALED IN / OR BELOW SLAB
	RACEWAY INSTALLED CONCEALED ABOVE OR IN WALLS
	RACEWAY INSTALLED EXPOSED
	FIXTURE WHIP

BRANCH CIRCUIT AND FEED CIRCUIT LENGTHS		(3% VOLTAGE DROP)															
WIRE	VOLTAGE	LINE CURRENT															
		10A	20A	25A	30A	35A	40A	45A	50A	60A	70A	80A	90A	100A	125A	150A	200A
#12	120V	90	45	-	-	-	-	-	-	-	-	-	-	-	-	-	-
#10	120V	143	72	57	48	-	-	-	-	-	-	-	-	-	-	-	-
#8	120V	230	114	92	77	66	57	51	47	-	-	-	-	-	-	-	-
#6	120V	353	177	141	117	101	89	78	71	59	-	-	-	-	-	-	-
#4	120V	-	-	225	108	90	140	125	103	93	80	71	-	-	-	-	-
#3	120V	-	-	-	238	203	177	158	141	119	101	89	78	71	-	-	-
#2	120V	-	-	-	-	257	224	210	179	150	128	113	99	90	-	-	-
#1	120V	-	-	-	-	-	291	225	188	161	141	125	113	90	-	-	-
1/0	120V	-	-	-	-	-	-	238	203	177	158	141	114	95	-	-	-
2/0	120V	-	-	-	-	-	-	-	235	224	198	179	143	119	-	-	-
3/0	120V	-	-	-	-	-	-	-	-	227	193	159	113	-	-	-	-
4/0	120V	-	-	-	-	-	-	-	-	-	230	192	144	128	-	-	-
250KCM	120V	-	-	-	-	-	-	-	-	-	-	225	188	150	135	-	-
350KCM	120V	-	-	-	-	-	-	-	-	-	-	-	203	160	162	-	-
350KCM	120V	-	-	-	-	-	-	-	-	-	-	-	-	236	210	189	158
450KCM	120V	-	-	-	-	-	-	-	-	-	-	-	-	-	242	218	182
500KCM	120V	-	-	-	-	-	-	-	-	-	-	-	-	-	-	242	227
600KCM	120V	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	323

NOTES:

1. THE ABOVE LENGTHS ARE LISTED FOR A 3% VOLTAGE DROP OF 120V CIRCUIT RECOMMENDED BY THE N.E.C. TO CONVERT LENGTHS TO 208V, 240V, 277V, OR 480V MULTIPLY BY THE FACTORS BELOW.

- 208V: MULTIPLY LENGTHS BY 1.73
- 240V: MULTIPLY LENGTHS BY 2.00
- 277V: MULTIPLY LENGTHS BY 2.31
- 480V: MULTIPLY LENGTHS BY 4.00

REVISIONS

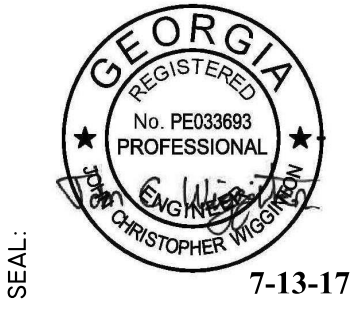
T.E.D.

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ELECTRICAL NOTES

PROPOSED ENGINEERING DESIGN FOR THE
McCURRY PARK RESTROOM
185 McDONOUGH RD. - FAYETTEVILLE, GA 30215

NOTES:

TECH
DRAWN: JCW
APPROVED: 7-10-17
DATE: T17-034
JOB NO.: 6
SHEET: 9
SHEET NUMBER: E.O

- SHEET NOTES:**
1. PROVIDE AN ULTRASONIC WALL SWITCH SENSOR AT 4' ABOVE FINISHED FLOOR. SENSOR SHALL BE HUBBELL MODEL #LH-US-RR-W. ONE SWITCH PER EACH RESTROOM (1 MEN'S, 1 WOMEN'S).
 2. CONTACTORS FOR EXHAUST FANS SHALL BE NEMA SIZE 1 W/ 120V COILS. ENCLOSURE SHALL BE NEMA-1. INSTALL CONTACTORS 8'-6" A.F.E. PROVIDE ALL CONDUIT AND WIRING IN ACCORDANCE WITH THE DIAGRAM SHOWN.
 3. PROVIDE OUTLET PER THE REQUIREMENTS OF THE DRINKING FOUNTAIN MANUFACTURER. OUTLET TO BE PROTECTED AND VANDAL-RESISTANT.
 4. PANEL TO BE 120V/240V, SINGLE PHASE. 3W, 100A MAIN CB, COPPER PHASE AND GROUND BUSBARS, 22KA R.M.S. SYMMETRICAL SHORT CIRCUIT RATING, U.L. LISTED FOR SERVICE ENTRANCE. REFER TO SINGLE LINE DIAGRAM, THIS SHEET. THE PANEL SHALL BE SQUARE-DCUTLER-HAMMER, SIEMENS, OR G.E. SURGE SUPPRESSOR SHALL HAVE SURGE RATING OF 160KVA AND SHALL BE LISTED UNDER UL 1449, UL 1283, AND INTERGAL DISCONNECT, LEDS, AND SURGE COUNTER SHALL BE PROVIDED. THE ENCLOSURE SHALL BE NEMA-4. THE SURGE SUPPRESSOR SHALL BE LIEBERT MODEL S1016-220-220V-S-A-R-C-E OR EQUAL BY APPROVED EQUIVALENT.
 6. WALL HEATERS TO BE MARKEL MODEL H3424T. 4KW, 240V, 1 PHASE, WITH INTEGRAL THERMOSTAT. INSTALL HANGING FROM CEILING 8'-6" A.F.E.

Lighting Fixture Schedule				
Mark	Manufacturer	Wattage	Comments	
A	HUBBELL MRK-S70-MT-PE-DBZ	70 W	70W HIGH PRESS. SODIUM WALL MOUNT DARK BRONZE 120V BALLAST, PHOTOCELL	
4				
B	COLUMBIA KL4-232-EBB	64 W	PENDANT MOUNTED, 4' FLOURESCENT LIGHT FIXTURE W/ (20 32W LAMPS, 120V ZERO DEGREE BALLAST	
2				
C	COLUMBIA VRN4-232-EBB	64 W	WALL MOUNTED, VANDAL RESISTANT 4' FLOURESCENT LIGHT FIXTURE W/ (20 32W LAMPS, 120V ZERO DEGREE BALLAST	
6				

Mechanical Equipment Schedule				
Mark	Manufacturer / Model	Description	Circuit Number	Comments
WH-1	A.O. SMITH / DEL-30	30 GALLON COMMERCIAL ELECT WATER HEATER	13,15	(2) 3000W ELEMENTS, 240V, SINGLE PHASE
UH-2	MARKEL / H3424T	WALL-MOUNT ELECTRIC UNIT HEATER	6,8	4000W, 240V, SINGLE PHASE
UH-4	MARKEL / H3424T	WALL-MOUNT ELECTRIC UNIT HEATER	10,12	4000W, 240V, SINGLE PHASE
UH-1	MARKEL / H3424T	WALL-MOUNT ELECTRIC UNIT HEATER	5,7	4000W, 240V, SINGLE PHASE
UH-3	MARKEL / H3424T	WALL-MOUNT ELECTRIC UNIT HEATER	9,11	4000W, 240V, SINGLE PHASE
EF-1	GREENHECK / G-095-E	ROOFTOP DIRECT DRIVE EXHUAST FAN	14	0.04HP, 120V, SINGLE PHASE
EF-2	GREENHECK / G-095-E	ROOFTOP DIRECT DRIVE EXHUAST FAN	4	0.04HP, 120V, SINGLE PHASE
HD-1	BRADLEY / 2903-28000	SENSOR OPERATED WARM AIR HAND DRYER	19	
HD-2	BRADLEY / 2903-28000	SENSOR OPERATED WARM AIR HAND DRYER	10	

FAULT CURRENT CALCULATION

SPECIFY FOR 300MCM AL CONDUCTOR TO FEEDER PANEL

100' OF 300 MCM AL CONDUCTOR = (.071 OHMS / 1000') x (200'/1000') = .0142 OHMS

240V / .0142 = **16,901 A MAX FAULT CURRENT IN CONDUCTOR**

Branch Panel: MDP

Location: Room 2

Supply From:

Mounting: Surface

Enclosure:

Volts: 120/240 Single

Phases: 1

Wires: 3

A.I.C. Rating: 22KA

Mains Type: MCB

Mains Rating: 200 A

MCB Rating: 200 A

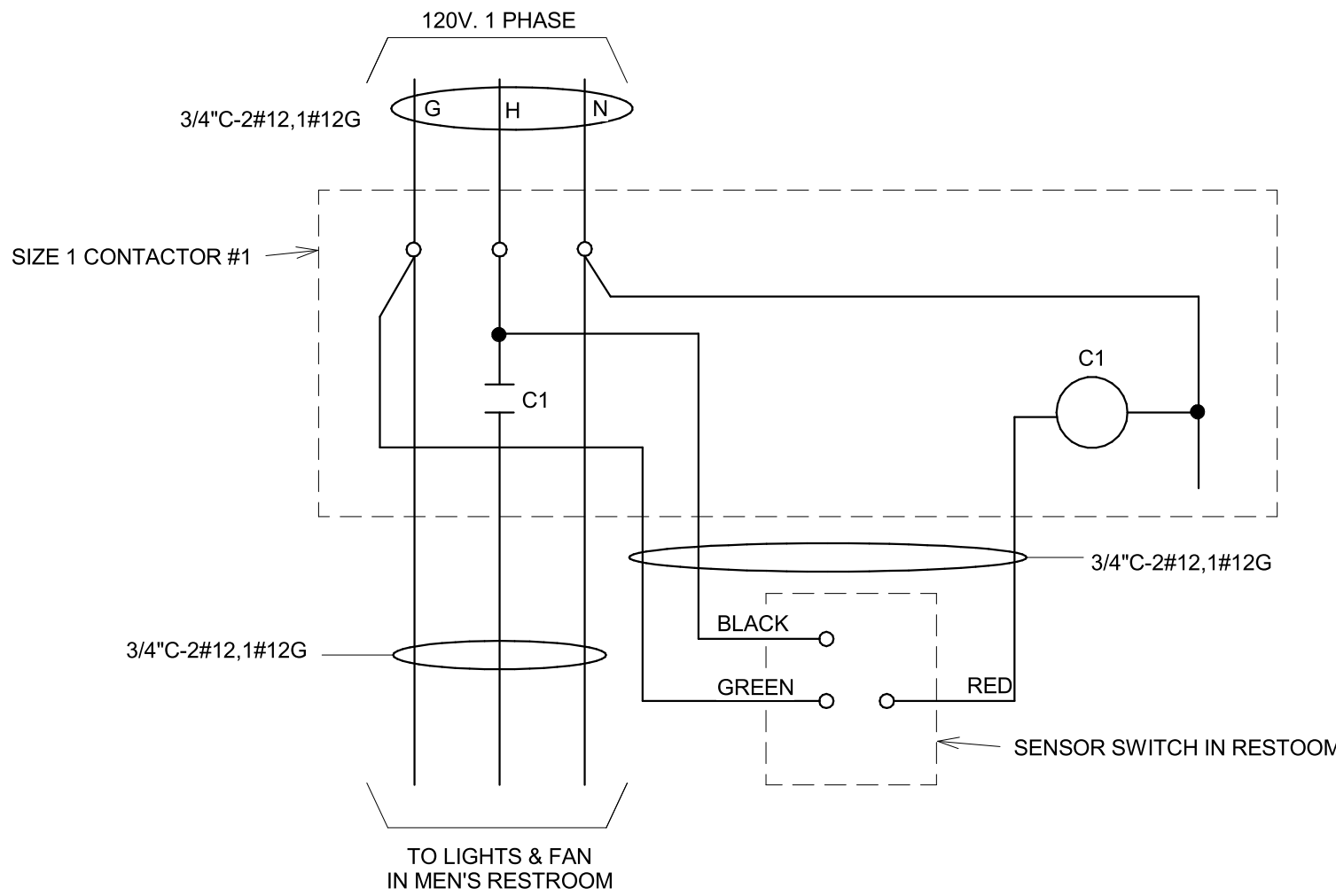
Notes: PANEL TO BE FED FROM NEARBY BUILDING VIA 200A BREAKER

CKT	Circuit Description	Trip	Poles	A		B		Poles	Trip	Circuit Description	CKT
1	MECH RM LIGHTS	15 A	1	128 VA	280 VA				15 A	EXTERIOR LIGHTS	2
3	RECEPTACLES / WATER FOUNTAIN	20 A	1			540 VA	30 VA	1	15 A	WOMENS EXHAUST FAN	4
5	MENS HTR #1	20 A	2	2000 VA	2000 VA			2	20 A	MENS HTR #2	6
7	--	--	--			2000 VA	2000 VA	--	--	--	8
9	WOMENS HTR #1	20 A	2	2000 VA	2000 VA			2	20 A	WOMENS HTR #2	10
11	--	--	--			2000 VA	2000 VA	--	--	--	12
13	WATER HEATER	30 A	2	2250 VA	30 VA			1	15 A	MENS EXHAUST FAN	14
15	--	--	--			2250 VA	192 VA	1	15 A	WOMENS LIGHTS	16
17	MENS LIGHTS	15 A	1	192 VA							18
19	MENS HAND DRYER	20 A	1		2400 VA						20
21											22
23											24
25											26
27											28
29											30
31											32
33											34
35											36
37											38
39											40
41											42
Total Load:				13280 VA		13412 VA					
Total Amps:				111 A		112 A					

Legend:

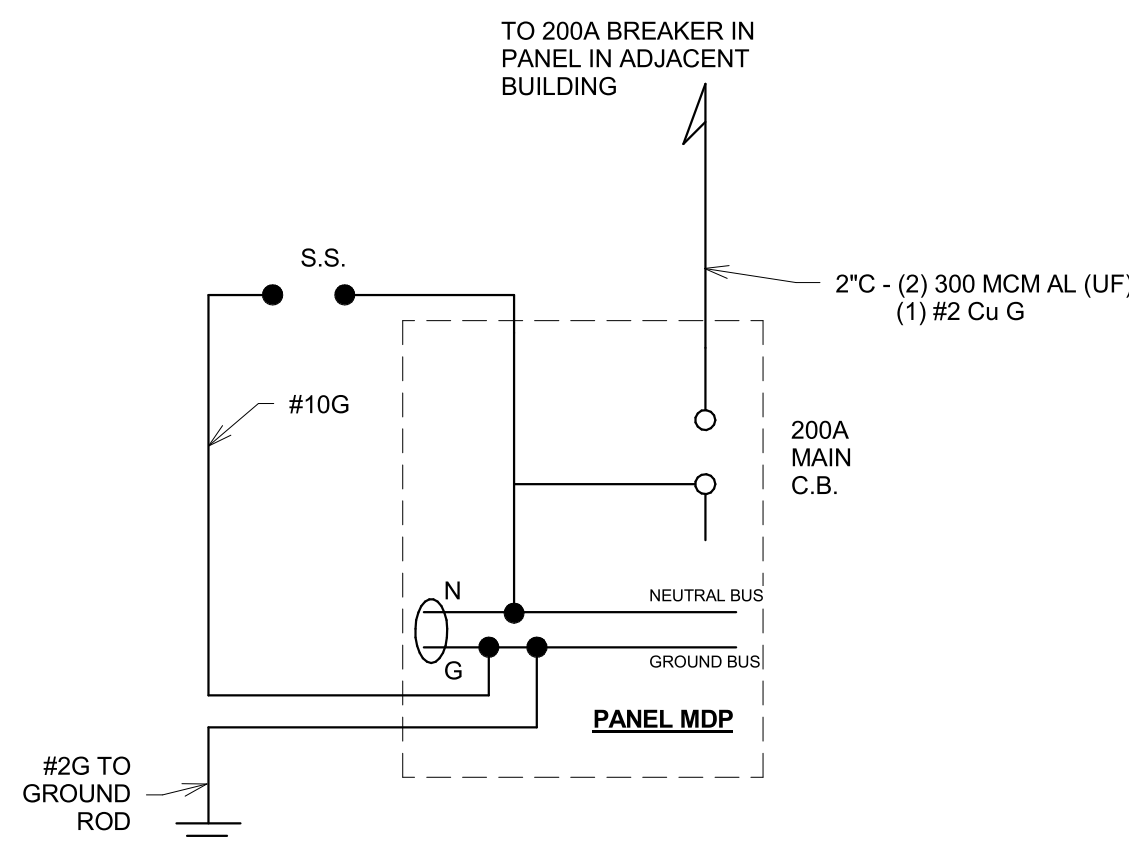
Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals	
Appliance - Dwelling Unit	4500 VA	100.00%	4500 VA	Total Conn. Load:	26692 VA
Cooling	60 VA	100.00%	60 VA		
Heating	16000 VA	100.00%	16000 VA	Total Est. Demand:	26762 VA
Lighting - Dwelling Unit	512 VA	100.00%	512 VA		
Lighting - Exterior	280 VA	125.00%	350 VA	Total Conn.:	111 A
Other	0 VA	0.00%	0 VA		
Receptacle	540 VA	100.00%	540 VA	Total Est. Demand:	112 A
Power	4800 VA	100.00%	4800 VA		

Notes:



(SHOWN FOR MEN'S RESTROOM- TYP. FOR BOTH RESTROOMS)

④ RESTROOM LIGHTS AND FANS
1/2" = 1'-0"



③ MDP PANEL DIAGRAM
1/2" = 1'-0"

LIGHTING POWER DENSITY CALCULATIONS
(PER IECC 2009 SECTION 505.5)

INTERIOR POWER DENSITY

TOTAL CONNECTED INTERIOR LIGHTING POWER

(8) 64W FLOURSECENT FIXTURES = 512W

TOTAL AREA = 899 SF

ALLOWANCE PER TABLE 505.5.2 = 1.1 W/SF (SPORTS ARENA)

TOTAL ALLOWED INTERIOR LIGHTING POWER = 989 W, O.K.

EXTERIOR POWER DENSITY

TOTAL CONNECTED EXTERIOR LIGHTING POWER

(4) 70W H.P.S. LAMPS = 280W

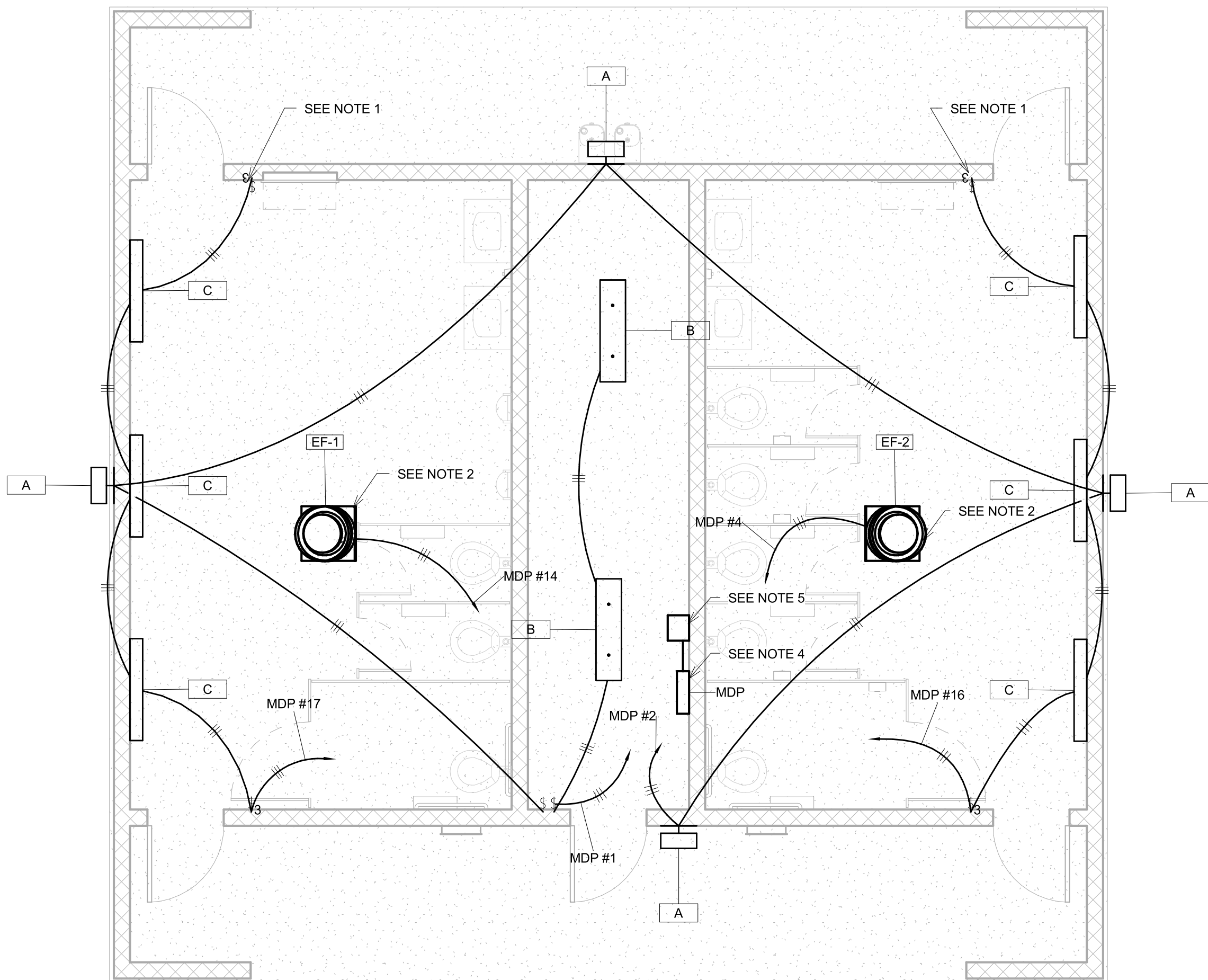
ALLOWANCE PER TABLE 505.6.2(2) = 20 W/LF ENTRANCE OR EXIT (ZONE 2)

= 0.1 W/SF FACADE (ZONE 2)

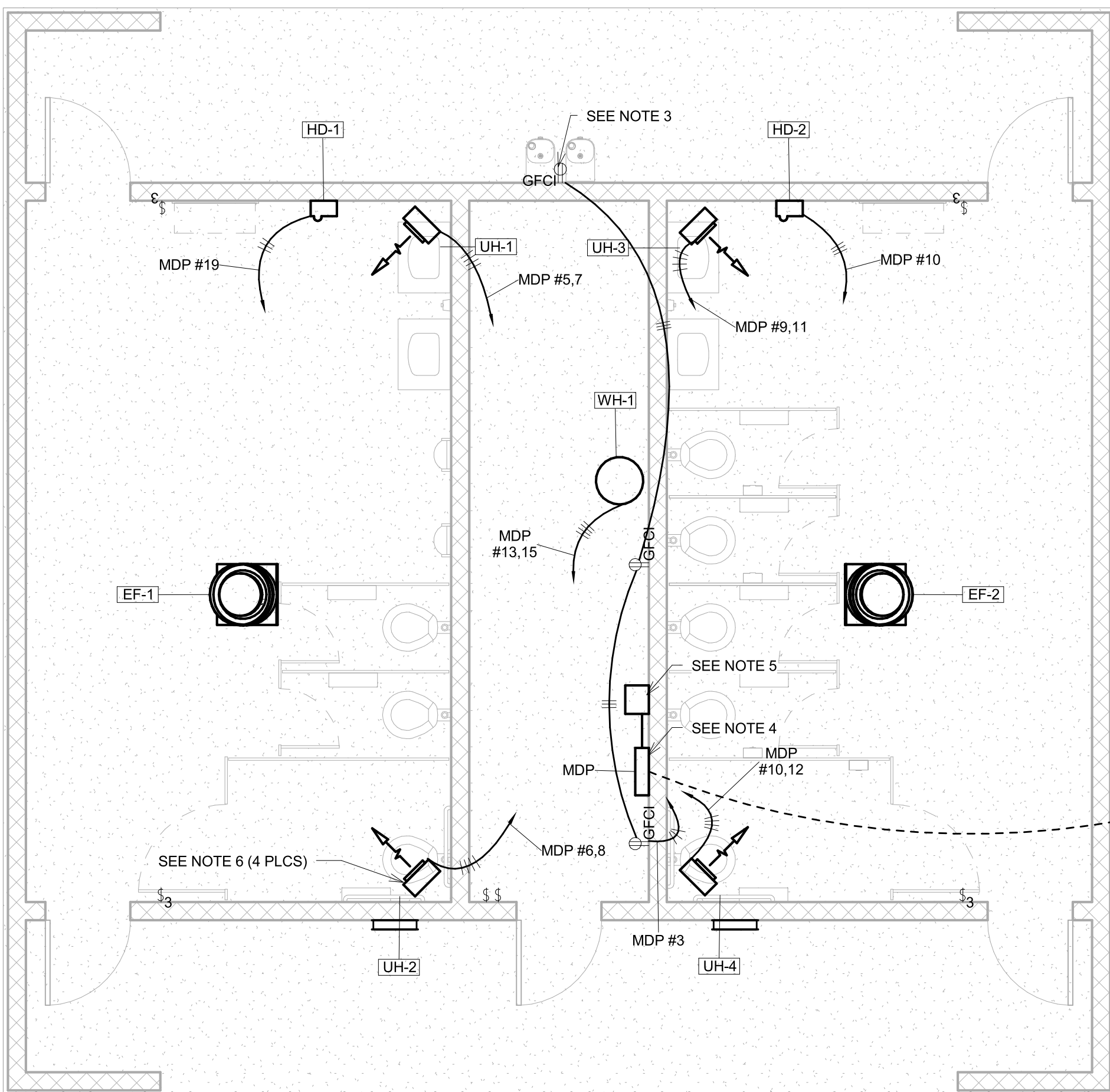
20 W/LF x 15 LF DOOR OPENING (5 DOORS @ 3 FT EACH) = 300 W

0.1 W/SF x (400 SF SIDE WALLS + 874 SF FRONT AND REAR) = 127.4 W

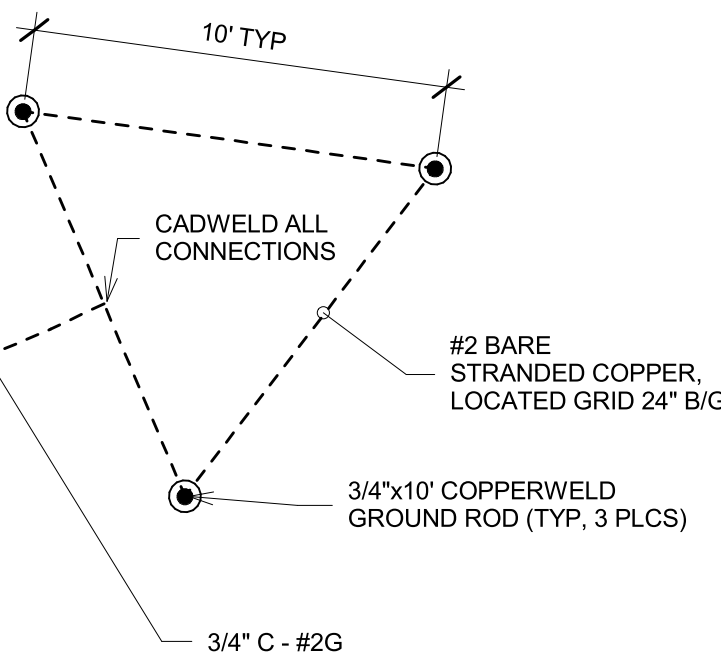
TOTAL ALLOWED EXTERIOR LIGHTING POWER = 427.4 W, O.K.



① LIGHTING PLAN
1/4" = 1'-0"



② POWER PLAN
1/4" = 1'-0"



REVISIONS

T.E.D.
WWW.TECHNIKA-DESIGN.COM
PO BOX 80097
CHARLESTON, SC 29416
843-580-3769

SEAL: 7-13-17

ELECTRICAL PLANS AND DETAILS

PROPOSED ENGINEERING DESIGN FOR THE
McCURRY PARK RESTROOM
185 McDONOUGH RD. - FAYETTEVILLE, GA 30215

NOTES:

TECH: JCW
APPROVED: 7-10-17
DATE: T17-034
JOB NO.: 7 OF 9
SHEET NUMBER: E.1

PLUMBING FIXTURE SCHEDULE								
MARK	MANUFACTURER	MODEL	DESCRIPTION	SANITARY	VENT	COLD	HOT	COMMENTS
DF	MDF	480 EZ WM	DRINKING FOUNTAIN	1 1/2"	1 1/4"	1/2"		
FCO	GENERIC	---	PVC CLEANOUT WITH CAP	3"				SEE CLEANOUT INSTALLATION DETAILS
FD	J.R. SMITH	2005	FLOOR DRAIN WITH GRATE	2"	1 1/2"			PROVIDE TRAP PRIMER, SET AT FINISHED FLOOR ELEVATION
HWC	AMERICAN STANDARD	3043.511	ADA FLUSH VALVE WC	4"	2"	1"		SLOAN ROYAL 111-1.28 FLUSHOMETER VALVE, 15" SEAT HEIGHT
LAV	AMERICAN STANDARD	0124.024	ADA WALL MOUNT LAV			1/2"	1/2"	FAUCET TO BE DELTA 515-WFHGMHDF, 516 METAL STRAINER
NFHB	WOODFORD	B65 SERIES				3/4"		
UR	AMERICAN STANDARD	6581.001EC	FLUSH VALVE URINAL	2"	1 1/2"	1"		SLOAN ROYAL 111-1.28 FLUSHOMETER VALVE, 17" RIM HEIGHT
WC	AMERICAN STANDARD		FLUSH VALVE WC	4"	2"	1"		SLOAN ROYAL 111-1.28 FLUSHOMETER VALVE, 16" SEAT HEIGHT

PLUMBING EQUIPMENT SCHEDULE						
MARK	MANUF.	MODEL	STORAGE CAP.	STORAGE TEMP.	1ST HR RECOVERY	COMMENTS
WH-1	A.O. SMITH	DEL-30	30 GAL	115 F	32 GAL	30 GALLON UPRIGHT WATER HEATER, (2) 3000 W ELEMENTS

BASIC MATERIALS & METHODS

- PROVIDE A COMPLETE PLUMBING SYSTEM, LEFT IN PROPER WORKING ORDER. PROVIDE HEREIN MEANS INSTALLED COMPLETELY, INCLUDING LABOR AND MATERIALS. CONTRACTOR RESPONSIBLE FOR ALL COST FOR REDESIGNS, REINSPECTIONS, ETC., CAUSED OR CREATED BY THE CONTRACTOR. SECURE AND PAY FOR ALL FEES, LICENSES, PERMITS, AND INSPECTIONS. COORDINATE AND VERIFY ALL DETAILS OF THE UTILITIES. MEET AND COMPLY WITH ALL FEDERAL, STATE, COUNTY AND CITY CODES AND REGULATIONS.
- THE INSTALLING CONTRACTOR PROVIDING FOR THIS WORK SHALL BE A FIRM LICENSED FOR THIS TYPE OF WORK AND SHALL PROVIDE COPIES OF LICENSES, BUSINESS LICENSES, BONDING LIMITS AND INSURANCE COVERAGE. THE CONTRACTORS FIELD PERSONNEL SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED PLUMBER(S).
- PROVISIONS INCLUDE LABOR, SUPPLIES AND MATERIALS, TOOLS 1EQUIPMENT, ETC. PROVIDE COMPLETE SUBMITTALS AND SHOP DRAWINGS ON ALL ITEMS. PRIOR APPROVAL IS REQUIRED FOR ANY SUBSTITUTIONS. PROVIDE FINAL CONNECTIONS TO ALL ITEMS. COORDINATE WITH OTHER TRADES PRIOR TO ROUGH IN AND PROVIDE ANY NECESSARY ADJUSTMENTS. CONTRACTOR IS RESPONSIBLE FOR MATERIAL SHIPPING, DELIVERY, RECEIVING, STORAGE & PROTECTION, EXCAVATION, BACKFILLING, CUTTING PATCHING AND CLEANING. ALL WORK AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR, PLUS ANY EXTENDED MANUFACTURER'S WARRANTIES. PROVIDE AS-BUILT REPRODUCIBLE RECORD DOCUMENTS, AND COMPLETE PARTS, MAINTENANCE AND SERVICE MANUALS, ALONG WITH THE NECESSARY TRAINING OF OWNER'S PERSONNEL.
- ALL MATERIALS SHALL BE NEW, AND CURRENTLY MANUFACTURED. ALL MATERIALS SHALL BE U.L. LABELED, AND MEET ALL INDUSTRY STANDARDS. PROVIDE PIPE LABELING FOR ALL POTABLE WATER AND OTHER LINES. PROVIDE 3000-PSI CLASS CONCRETE FOR EQUIPMENT BASES. BACKFILL % COMPACTION. PAINT ALL AND COMPACT FILL TO A MINIMUM OF 95 MATERIALS EXPOSED TO VIEW AS DIRECTED BY ARCHITECT. FIRE/SMOKE. SEAL EACH PENETRATION OF ANY RATED BARRIER (FLOOR, WALL, ETC).
- EXISTING CONDITIONS INFORMATION IS BASED ON HISTORICAL INFORMATION, CONTRACTOR SHALL FIELD VERIFY ACTUAL CONDITIONS PRIOR TO DEMOLITION/MODIFICATIONS AND IMMEDIATELY ADVISE OF ANY DISCREPANCIES. MAINTAIN CONTINUITY OF ALL EXISTING SYSTEMS. PROVIDE FOR REMOVAL, RECONNECTION, ETC. TO EXISTING SYSTEMS. PROVIDE 72 HOUR ADVANCE NOTICE (MIN.) OF ANY INTERRUPTIONS. INTERRUPTIONS OF TWO OR MORE HOURS SHALL BE AT NIGHTS OR WEEKENDS. REMOVED MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR, UNLESS NOTED OTHERWISE.

GENERAL PIPING REQUIREMENTS

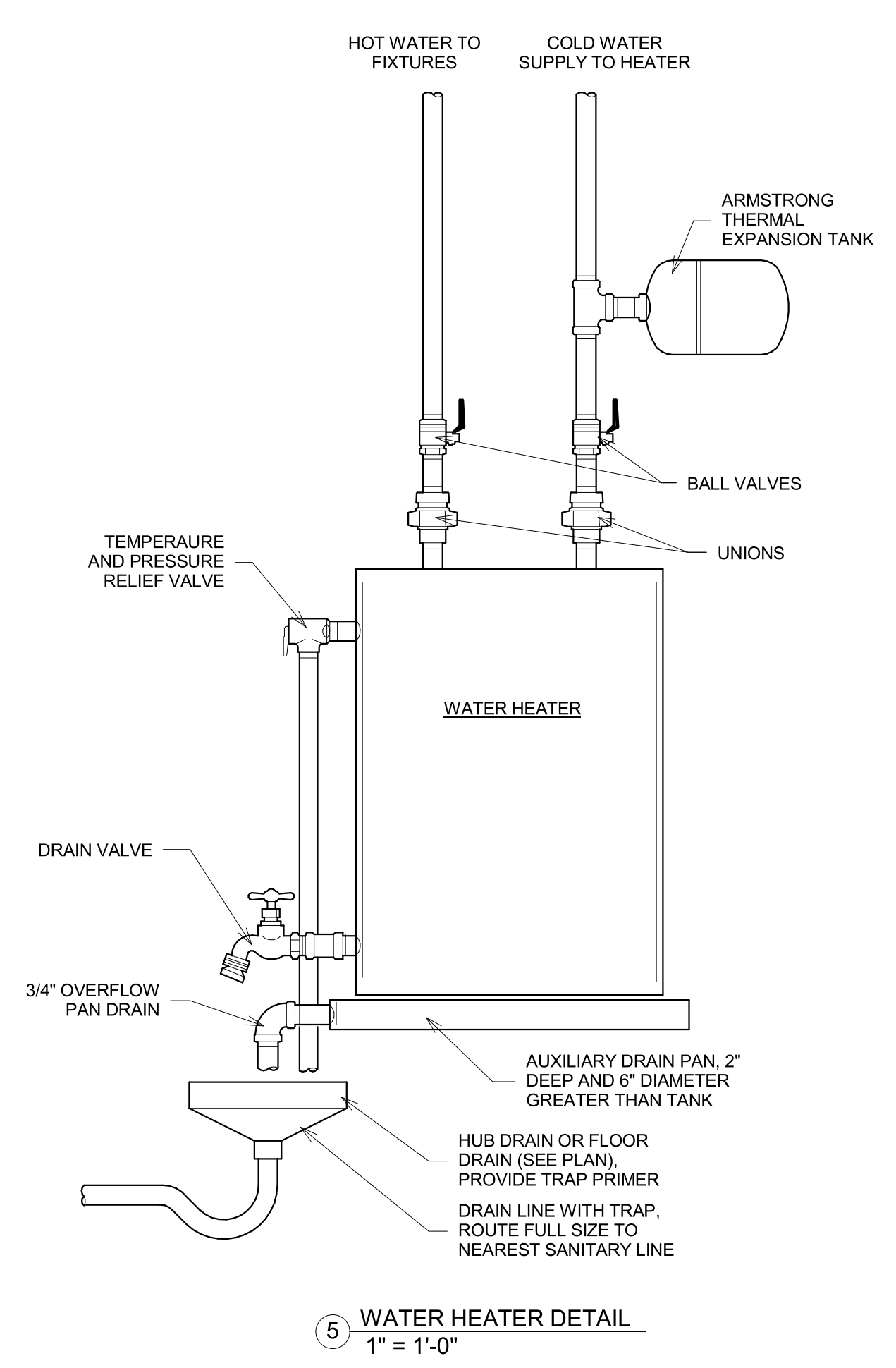
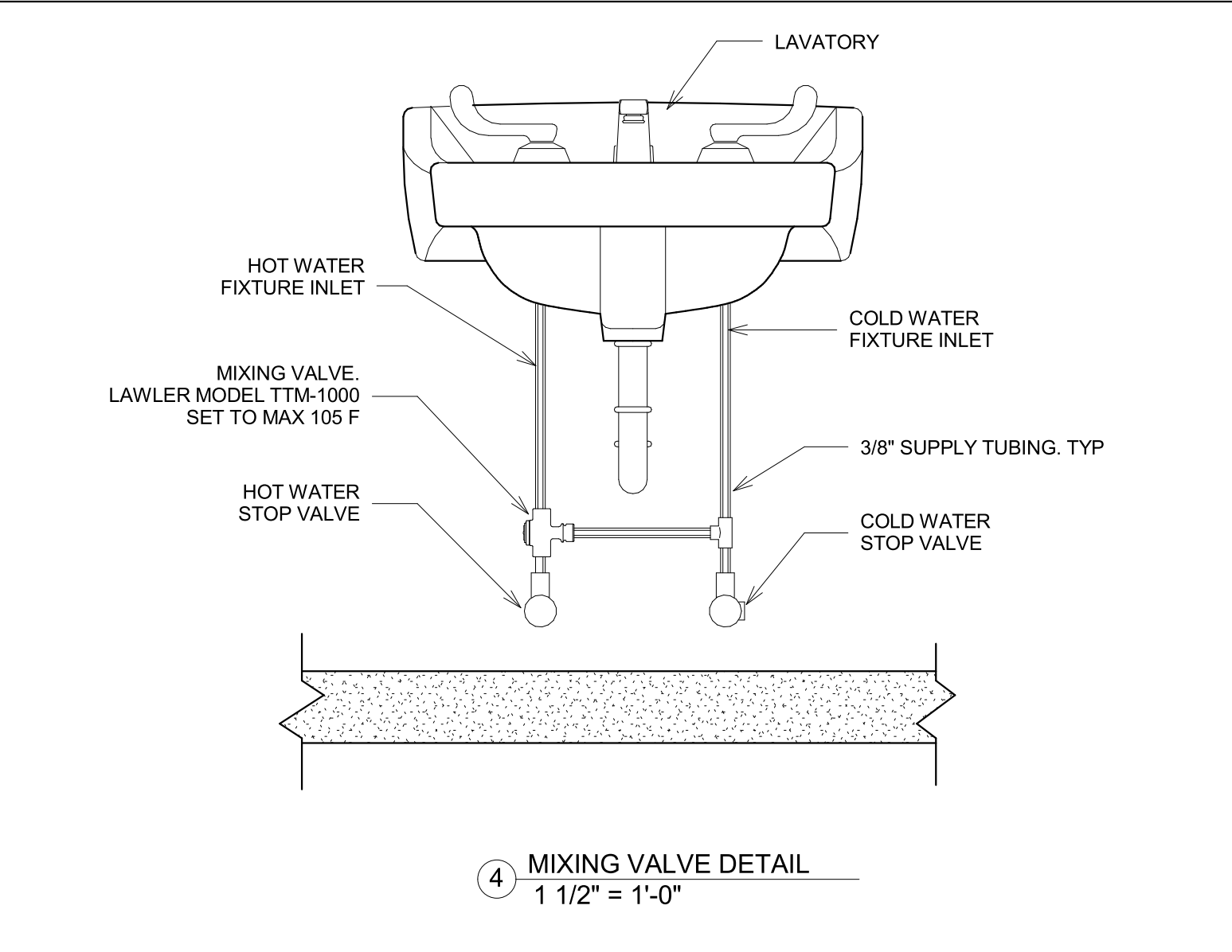
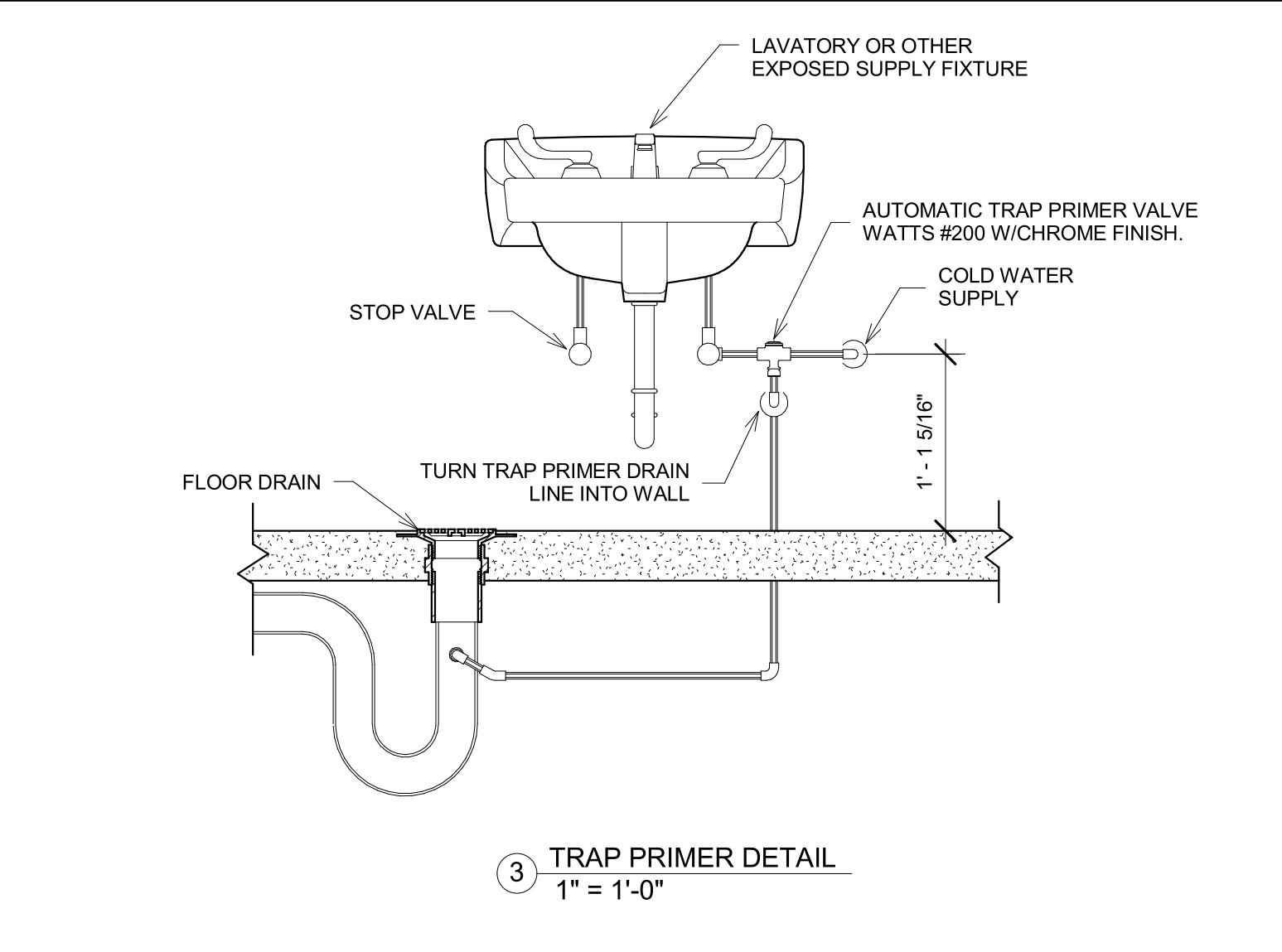
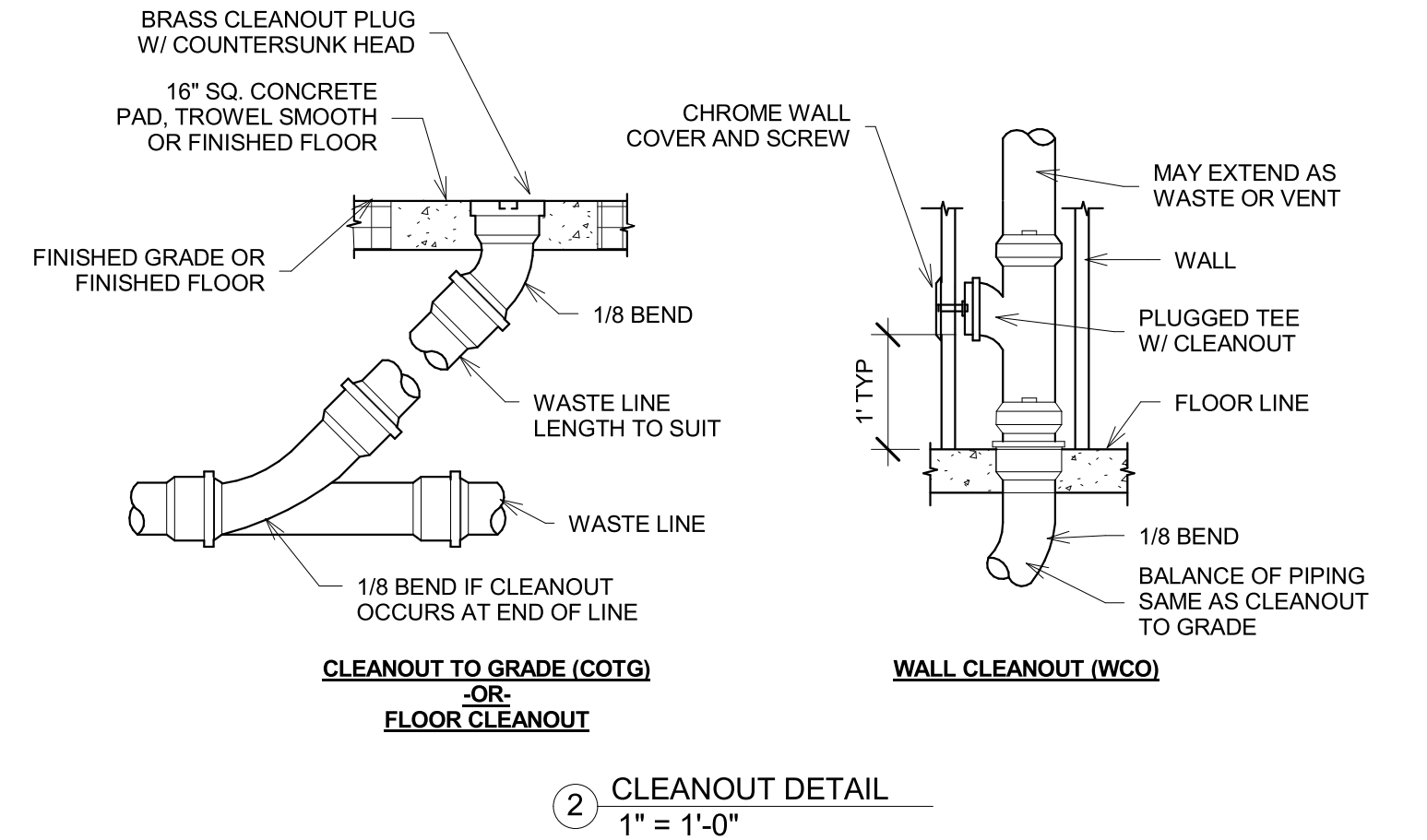
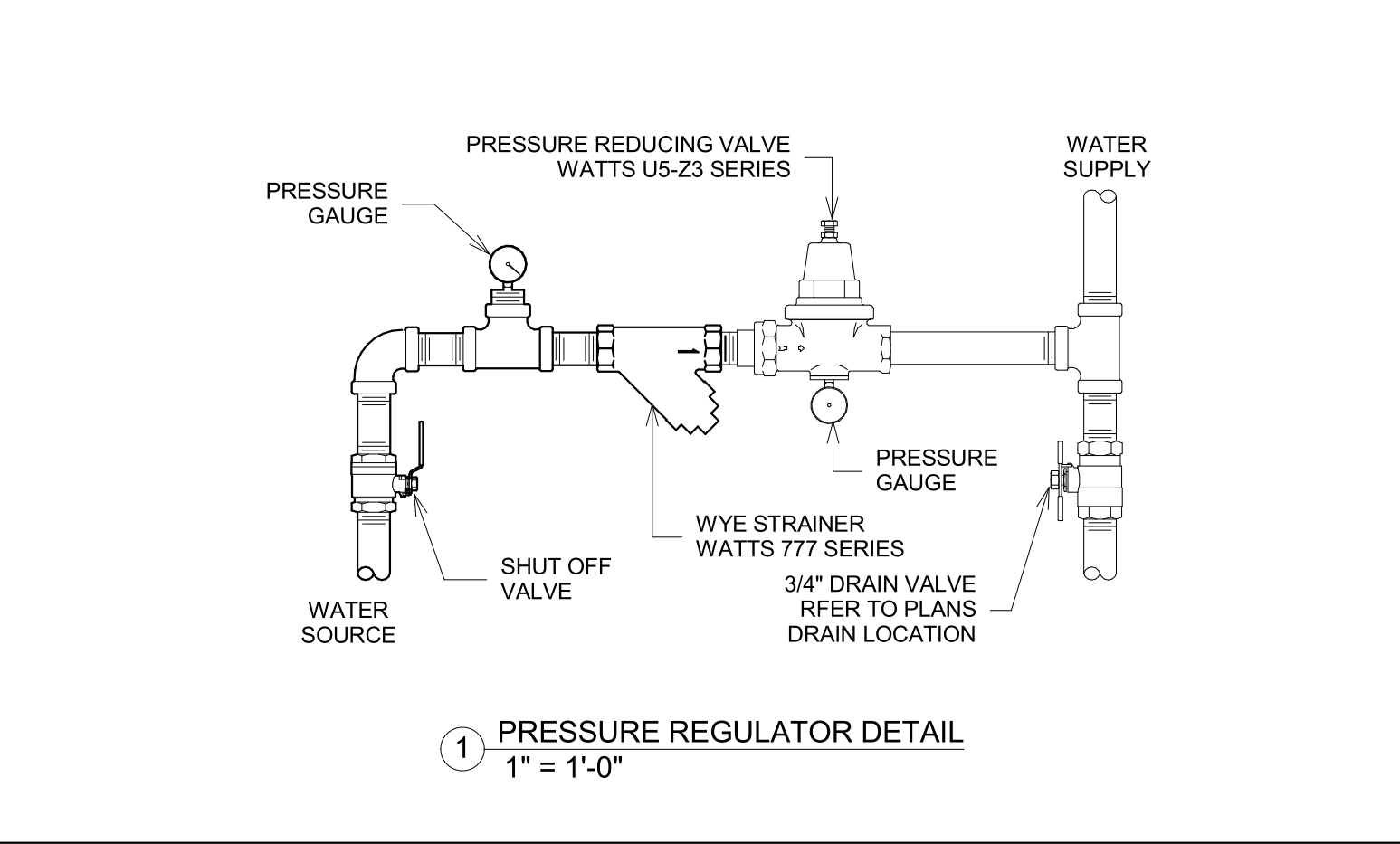
- DRAWINGS ARE DIAGRAMMATIC TO INDICATE THE REQUIRED PLUMBING SYSTEM. EVERY FITTING AND DETAIL IS NOT NECESSARILY INDICATED. THE CONTRACTOR SHALL PROVIDE FOR AND INSTALL FOR A COMPLETE AND PROPERLY FUNCTIONING SYSTEM(S) IN A PROFESSIONAL MANNER. ALL WORK SHALL BE INSTALLED SO THAT VALVES AND OTHER WORKING COMPONENTS ARE ACCESSIBLE FOR SERVICE. PROVIDE FLUSH MOUNTED HINGED COVER ACCESS PANELS FOR ACCESS TO ANY CONCEALED VALVES, ETC.
- CONTRACTOR SHALL CHECK AND VERIFY THE UTILITY SOURCE WATER PRESSURE. IF THE PRESSURE EXCEEDS 80 PSI THE CONTRACTOR SHALL PROVIDE A LINE SIZE PRESSURE REDUCING VALVE, WATTS MODEL 223SB TYPE. ALL VENT, WATER, AND WASTE PIPING SHALL BE CONCEALED IN WALLS OR ABOVE CEILINGS, UNLESS NOTED OTHERWISE. ANY PIPING ROUTED THROUGH COUNTER WORK SHALL BE LOCATED OUT-OF-THE-WAY TO THE REAR OF THE COUNTER AND WELL SECURED WITH THE COUNTER MANUFACTURER AND ARCHITECT FOR ROUTING OF ANY PIPING.
- ANY EXPOSED PIPING SHALL BE PROTECTED FROM PHYSICAL DAMAGE. ALL PIPING EXPOSED BELOW SINKS, LAVATORIES, ETC. SHALL BE INSULATED AND PROTECTED IN ACCORDANCE WITH ANSI/ADA REQUIREMENTS, UTILIZING PROWRAP BY MCGUIRE MANUFACTURING OR EQUAL.
- THE CONTRACTOR SHALL PROVIDE FINAL FIELD COORDINATION AND VERIFICATION OF THE EXACT LOCATION OF STUB-UP AND STUB-OUT LOCATION PRIOR TO ROUGH IN. EACH FLOOR SLAB PENETRATIONS SHALL FIRST BE CHECKED AND VERIFIED WITH STRUCTURAL TO AVOID STRUCTURAL DAMAGE. FLOOR SLAB PENETRATIONS SHALL BE SLEEVED AND SEALED. ALL FLOOR DRAINS, FLOOR SINKS, AND FLOOR CLEANOUTS SHALL BE FLASHED TO THE WATERPROOFING MEMBRANE AND SEALED. SLOPE FLOOR TO DRAIN PER ARCHITECTURAL REQUIREMENTS. ANY ROOF PENETRATIONS SHALL BE MADE AS DIRECTED BY OWNERS ROOFING INSTALLER TO MAINTAIN ROOF WARRANTY. PROVIDE ALL NECESSARY ROOF FLANGES, ETC.
- PIPING SUPPORT - PROVIDE PIPE HANGERS & SUPPORTS WITH WIDE SADDLES THAT SUPPORT BOTH THE INSULATION AND PIPING WITHOUT CRUSHING THE INSULATION. SPACE HANGERS TO PROVIDE NO MOVEMENT OR SAGGING BETWEEN SUPPORTS. PROTECT ALL PIPING PASSING THROUGH SLABS AND OTHER OPENINGS WITH SLEEVES. ALL PIPING PENETRATING WALLS, CEILINGS AND OTHER FINISHED SURFACES SHALL HAVE CHROME-PLATED ESCUTCHEONS, ALL PIPING PENETRATING EXTERIOR WALLS, ROOFS, ETC. SHALL BE FLASHED AND SEALED IN AN APPROVED MANNER. THE SW&V DESIGN IS BASED ON 1/4 INCH SLOPE PER FOOT. PROVIDE SLEEVES FOR ALL WALL AND OTHER PENETRATIONS.
- PIPING INSULATION - INSULATE ALL HW & CW PIPING SYSTEMS WITH 1/2 INCH THICK PREFORMED AND JACKETED INSULATION LABELED FOR USE IN RETURN AIR PLENUMS. INSULATION SHALL BE ARMAFLEX TYPE AP WITH MANUFACTURER'S RECOMMENDED ADHESIVE. INSULATE P-TRAPS OF CONDENSATE REMOVAL AND WATER HEATER RELIEFS WITH 1/2 INCH THICK PLENUM RATED ARMAFLEX OR EQUAL.
- THE CONTRACTOR SHALL TEST EACH WATER AND DRAINAGE PIPING SYSTEM, PRIOR TO COVERING UP ANY PIPING, IN ACCORDANCE WITH THE CODE. ALL TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. ANY DEFECTIVE MATERIALS SHALL BE REPLACED WITH NEW MATERIALS AND THE SYSTEM RETESTED. ONCE ALL WORK IS COMPLETED THEN EACH SYSTEM SHALL BE SANITIZED IN ACCORDANCE WITH THE CODE AND THEN FLUSHED CLEAN WITH POTABLE WATER.

WATER PIPING SYSTEM MATERIALS

- WATER SERVICE UNDERGROUND - TYPE K COPPER TUBE, SEAMLESS AND JOINTLESS
- WATER PIPING IN GRADE - TYPE K HARD DRAWN COPPER WITH NO JOINTS OR CONNECTIONS.
- WATER PIPING ABOVE GRADE - TYPE L COPPER TUBE. SOLDER JOINT FITTINGS AND CONNECTORS, COPPER TO STEEL CONNECTIONS SHALL UTILIZE INSULATING UNIONS, CAPITOL MANUFACTURING OR EQUAL.
- FITTINGS & FIXTURE CONNECTIONS - FITTINGS SHALL BE APPROVED FOR THE PURPOSE. UTILIZE SWEAT JOINTS AND BE CAST OR WROUGHT IRON FITTINGS. PROVIDE STOP OR GATE VALVES ON EACH CW AND HW SUPPLY TO EACH FIXTURE. PROVIDE CHROME-PLATED ESCUTCHEONS AT EACH PIPE PENETRATION OF A FINISHED WALL OR SURFACE. PROVIDE UNION FITTING ON FIXTURE SIDE OF VALVE. PROVIDE LABELED STAINLESS STEEL FLEXIBLE TUBING WITH SLACK FOR CONNECTIONS TO ANY FIXTURE, EQUIPMENT OR ITEM THAT VIBRATES OR IS SUBJECT TO MOVEMENT.
- SOLDER - ALL SOLDER JOINTS SHALL UTILIZE NO-LEAD SOLDER, 95% TIN / 5 % ANTIMONY.
- GATE VALVES - PROVIDE LINE SIZE, BRASS OR BRONZE BODY, RATED FOR 125 PSI SHOCK WATER PRESSURE, CRANE, NIBCO, OR HAMMOND. TAG OR LABEL EACH VALVE.
- SHUT-OFF VALVES - PROVIDE CHROME PLATED VALVES, TO MATCH LINE SIZE AHEAD OF EACH EQUIPMENT WATER CONNECTION POINT. PROVIDE UNION CONNECTION ON FIXTURE SIDE.
- HOSE BIBBS - PROVIDE BRASS OR BRONZE CASING WITH BRONZE INTERIOR PARTS, REPLACEABLE SEAT AND SEAT WASHER. HOSE BIBBS SHALL HAVE VACUUM BREAKER FEATURE. HOSE BIBBS EXPOSED TO EXTERIOR OR UNCONDITIONED SPACES SHALL BE NON-FREEZE WALL HYDRANT TYPE.
- SHOCK ABSORBERS - SHALL BE PROVIDED AND INSTALLED PER P.D.I. STANDARDS, UTILIZE J.R. SMITH HYDROTOL WATER HAMMER ARRESTERS, SIZED PER THE MANUFACTURER'S RECOMMENDATION.
- GAUGES - PRESSURE GAUGES SHALL BE STAINLESS STEEL CASE & RING WITH BALANCED ADJUSTABLE POINTER AND BRASS SOCKET, 4.5 INCH DIAL, WITH PISTON TYPE PRESSURE SNUBBERS AND BRASS NEEDLE VALVES. 0-200 PSI FOR WATER SERVICE GAUGES. 0-100 PSI FOR WATER DISTRIBUTION SYSTEM. TEMPERATURE GAUGES SHALL BE ADJUSTABLE ANGLE TYPE WITH RED READING GAUGE AGAINST A CONTRASTING TEMPERATURE SCALE.
- TESTING - ALL PIPING SYSTEM(S) SHALL BE PRESSURE TESTED, BEFORE INSULATED & CONCEALED, AT 125 PSI AND HOLD THIS PRESSURE WITH NO LOSS FOR 24 HOURS.
- DISINFECTION - THE COMPLETE PIPING SYSTEM(S) SHALL BE DISINFECTED IN ACCORDANCE WITH THE CODE, THEN FLUSHED CLEAN. ALL FIXTURES SHALL BE CLEANED PRIOR TO DISINFECTION. A WATER SAMPLE FROM THE FURTHERMOST OUTLET SHALL BE TAKEN AND TESTED BY AN INDEPENDENT LAB TO CERTIFY THE WATER QUALITY.

SOIL, WASTE & VENT PIPING SYSTEM MATERIALS

- SOIL, WASTE & VENT PIPING IN GRADE - SERVICE WEIGHT CAST IRON WITH HUB & SPIGOT JOINTS OR SCH 40 PVC.
- SOIL, WASTE & VENT PIPING ABOVE GRADE - HUBLESS CAST IRON PIPE WITH POSITIVE-SEAL ONE PIECE ELASTOMERIC COMPRESSION TYPE GASKET NO-HUB FITTINGS WITH STAINLESS STEEL CLAMPS OR SCH 40 PVC.
- P-TRAPS - PROVIDE ALL FIXTURES WITH P-TRAP SIZED IN ACCORDANCE WITH CODE.
- CLEANOUTS - SHALL BE PROVIDED PER CODE. WALL CLEANOUTS SHALL BE EXTRA HEAVY TEE WITH COUNTERSUNK BRONZE PLUG AND STAINLESS STEEL ACCESS COVER, J.R. SMITH 4531 OR 4402 SERIES. IN FLOOR CLEANOUTS SHALL BE ADJUSTABLE TYPE WITH COUNTER SUNK PLUG, J.R. SMITH 4245 OR 4045 TO MATCH FLOOR TYPE. IN GRADE CLEANOUTS SHALL BE CAST IRON FERRULE WITH COUNTERSUNK BRONZE PLUG SET IN A 12" X 12" X 6" D CONCRETE PAD, J.R. SMITH 4250 (IF SCHEDULE MAKE AND MODEL PROVIDED, CONTRACTOR SHALL USE SCHEDULE CALL OUT IN LEIU OF THIS NOTE).



REVISIONS

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PO BOX 80097
CHARLESTON, SC 29416
843-580-3769

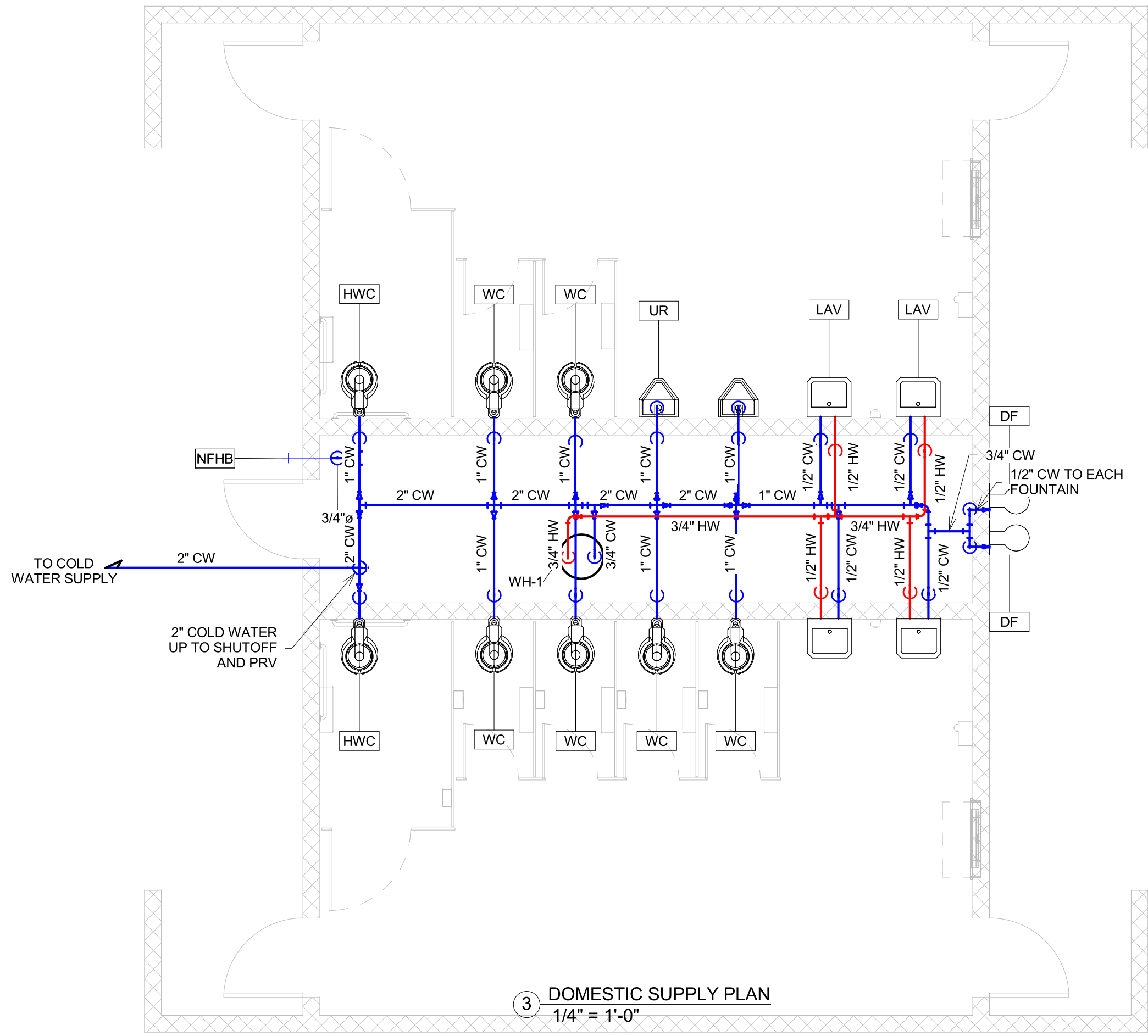
SEAL:

PLUMBING NOTES AND DETAILS

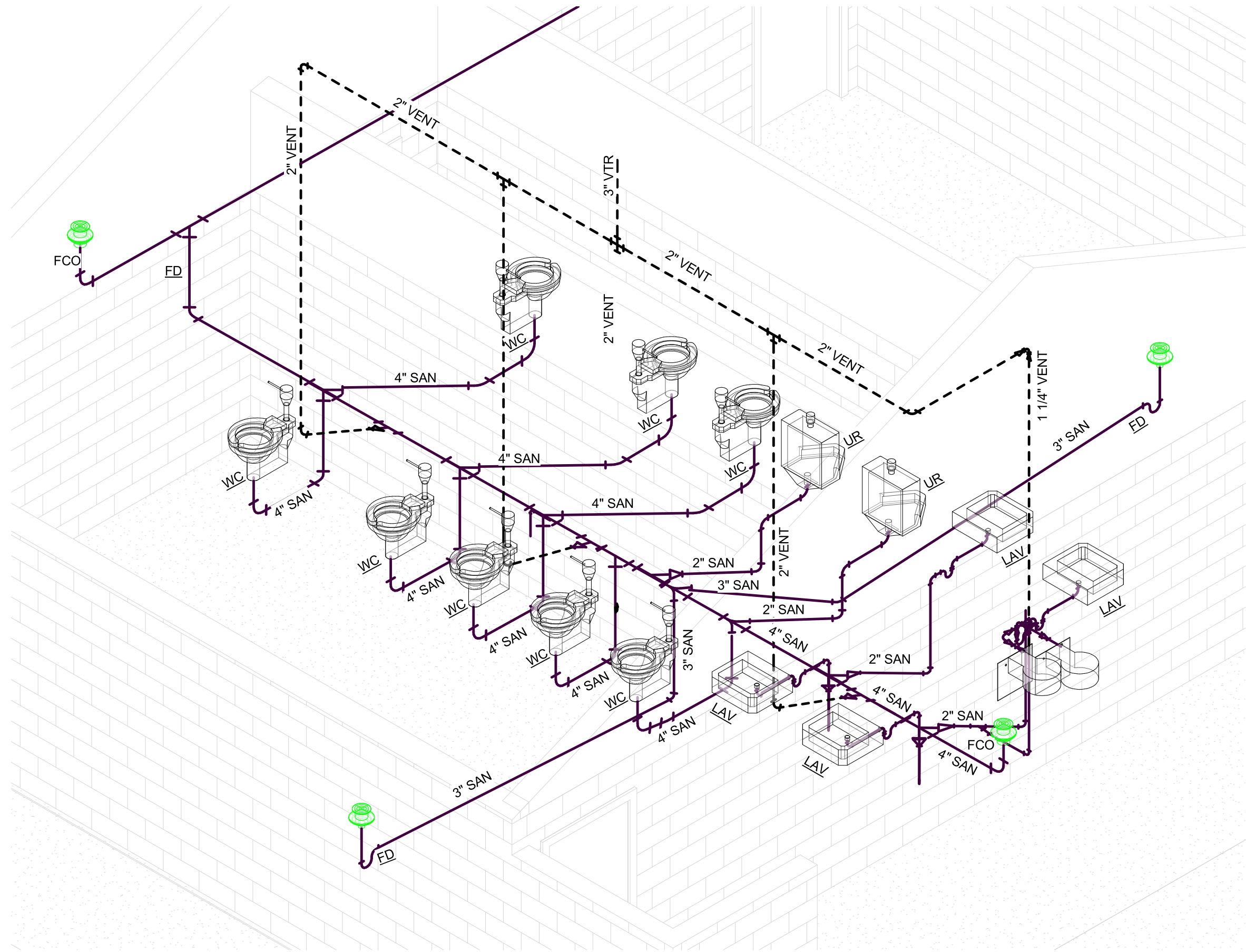
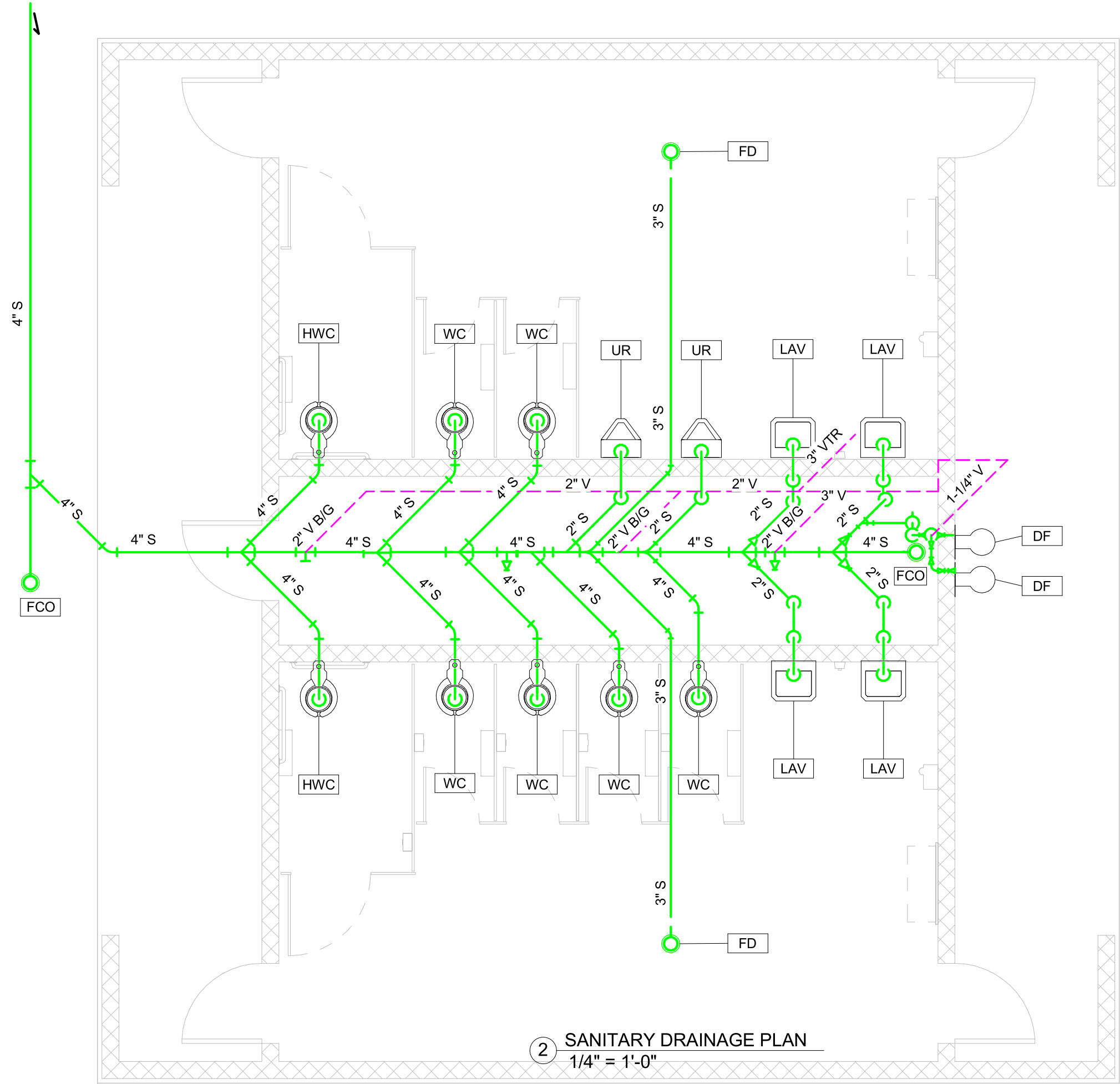
PROPOSED ENGINEERING DESIGN FOR THE
McCURRY PARK RESTROOM
185 McDONOUGH RD. FAYETTEVILLE, GA 30215

NOTES:

TECH	JCW	P.O.
APPROVED:	7-10-17	
DATE:	T17-034	
JOB NO.:	8 OF 9	
SHEET:		
SHEET NUMBER:		



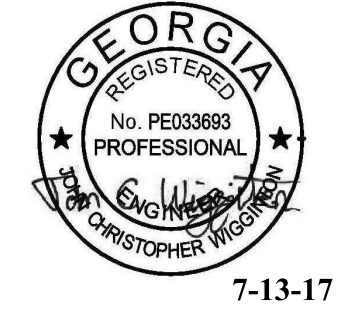
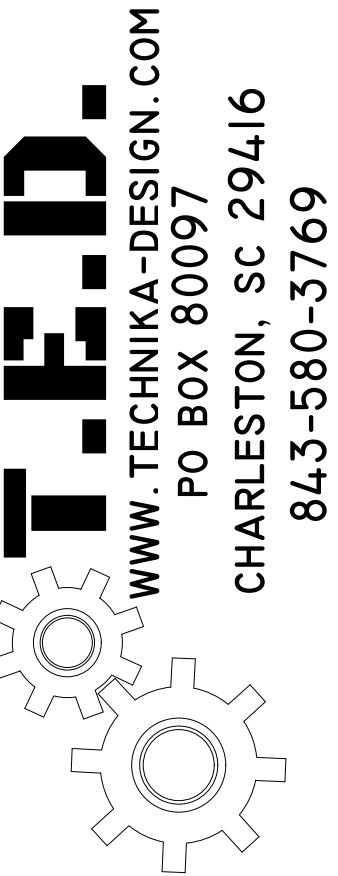
4" SANITARY TO SEPTIC
SYSTEM BY OTHERS



PLAN NOTES:

- SANITARY VENTING SYSTEM HAS BEEN DESIGNED TO UTILIZE CIRCUIT VENTS AS PRESCRIBED IN THE IPC 2012 SECTION 914. THIS SECTION ALLOWS FOR UP TO (8) FIXTURES TO BE VENTED FROM A SINGLE DRY VENT ATTACHING TABOVE TYE CENTERLINE OF A MAIN BRANCH SERVING AS A WET VENT. IN BETWEEN THE TWO MOST UPSTREAM FIXTURES. THE VENT MUST BE SIZED TO ACCOMODATE ALL SERVED FIXTURES, AND THE BRANCH SHALL BE SIZED TO ACCOMODATE THE DRAINAGE FFROM ALL FIXTURES CIRCUIT VENTED ALONG ITS ENTIRE LENGTH. THE CIRCUIT VENT SHALL BE EXTENDED UP AT 45 DEGREES TO THE HORIZONTAL, AND SHALL RISE ABOVE THE SLAB VERTICALLY AT LEAST 6" ABOBE RIM FLOOD LEVEL OF THE TALLEST FIXTURE, BEFORE TURNIGN HORIZONTAL.
- IF THE CIRCUIT VENTING SYSTEM SHOWN REQUIRES EXCESSIVE FALL FROM THE MOST UPSTREAM FIXTURE TO THE SEPTIC SYSTEM, SINGULAR, MORE TRADITIONAL VENTING MAY BE SUBSTITUTED, WITH ONE VENT PER FIXTURE SIZED IN ACCORDANCE WITH THE FIXTURE SCHEDULE PROVIDED. ENGINEERING APPROVAL FOR THIS CHANGE SHALL BE REQUESTED BY THE CONTRACTOR.

REVISIONS

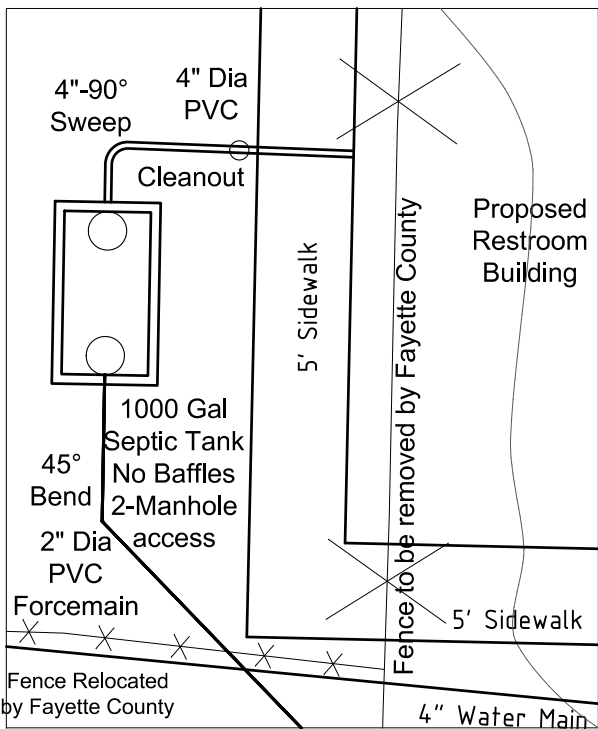


PLUMBING PLANS

PROPOSED ENGINEERING DESIGN FOR THE
McCURRY PARK RESTROOM
185 McDONOUGH RD. FAYETTEVILLE, GA 30215

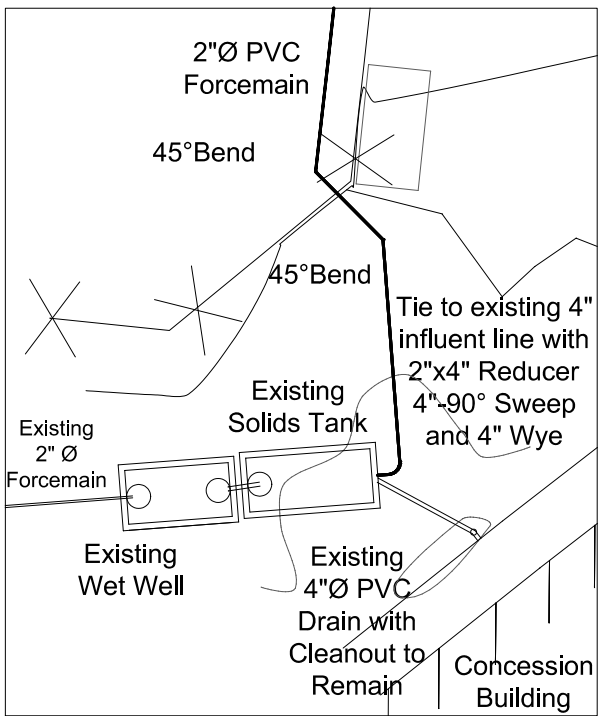
NOTES:

DRAWN: HEH
APPROVED: JCW
DATE: 7-10-17
JOB NO.: T17-034
SHEET: 9 OF 9
SHEET NUMBER: **P.1**



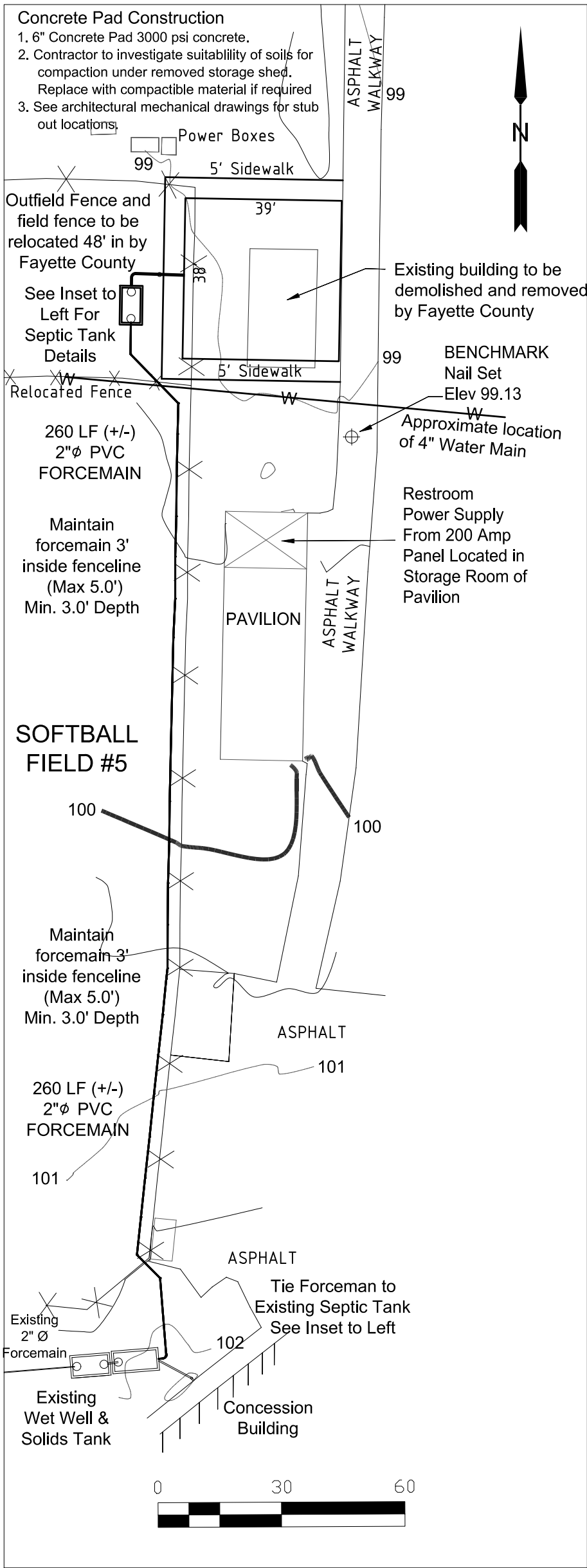
SEPTIC TANK/FORCEMAIN CONSTRUCTION NOTES

1. Septic tank to be min 1000 gal. - No Baffles (Foley traffic bearing tank - 8" Top, 6" Side/Bottom Minimum or equivalent.)
2. Maintain 3' cover over septic tank
3. Tank shall have 2 access Manholes, flush with existing ground (Risers required).
4. Maintain min 10' from building.
5. Set tank level in 4" of #57 or #5 stone base
6. Use 4"Ø 90 degree sweep for influent entering septic tank.
7. Minumum $\frac{1}{4}$ - $\frac{3}{4}$ H.P. grinder pump to be installed within septic tank. Grinder pump selection approval required prior to installation. Per Fayette County Environmental Health, no backup pump required.
8. 260 LF(+/-) 2"Ø PVC force main to existing septic tank at concession stand.
9. Contractor shall be responsible for all electrical work for installation, mounting of control panel and pump hook up, including final inspection.
10. Fayette County to provide for breaker space in main panel for electrician located in storage area of pavilion
11. Contractor to be responsible for clean up of all debris created by installation and proper disposal of same off site.
12. SEPTIC TANK LOCATION SHOWN IS A SUGGESTION ONLY. Contractor may shift tank to more easily tie to plumbing from proposed building. Tank must remain 10' from building, estimated force main length will change depending on location.



FORCEMAIN TIE TO EXISTING SYSTEM NOTES

1. Service from existing concession stand must be maintained.
2. No holes may be drilled or cored into existing structures.
3. It is unknown if existing septic tank contains multiple openings for influent flow. Contractor may opt to connect to an additional opening, if one exists using 90° sweep and 4"x2" reducer.
4. If tying to existing influent line from concession stand connect with a standard wye fitting using a 90° sweep and 4"x2" reducer.



GENERAL NOTES:

1. Outfield fence to be relocated 48' inward toward home place and side fence to be removed by Fayette County.
2. Topography from field run survey and is based on an assumed elevation. Contour interval = 1.0'
3. Benchmark top of nail set in asphalt walkway north of pavilion building. ELEVATION = 99.13

Fayette County Parks & Recreation Department
980 Redwine Road
Fayetteville, GA 30215
Phone: 770.716.4320
email: recreation@fayettecountyga.gov

Located in Land Lot 138, 5th District,
Fayette County, GA
Adjacent to and within Softball Field #5
McCurry Park

McCurry Park
RESTROOM CONSTRUCTION
SEPTIC TANK/FORCEMAIN
INSTALLATION



**Fayette County, Georgia
Checklist of Required Documents**

(Please return this checklist and the documents listed below with your submittal)

ITB #1414-B: McCurry Park Restroom Construction

Company Information form _____

Bid Bond _____

Contractor Affidavit under O.C.G.A. § 13-10-91(b)(1) _____

Exhibit A – Schedule of Values: Guaranteed Maximum Price _____

Exceptions, if any _____

References _____

Survey – Communication of Opportunity to Bid _____

Addendum, if any _____

COMPANY NAME: _____

Contractor Affidavit under O.C.G.A. § 13-10-91(b)(1)

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services on behalf of Fayette County, Georgia has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91. Furthermore, the undersigned contractor will continue to use the federal work authorization program throughout the contract period and the undersigned contractor will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present an affidavit to the contractor with the information required by O.C.G.A. § 13-10-91(b). Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

Federal Work Authorization User Identification Number

Date of Authorization

Name of Contractor

1414-B: McCurry Park Restroom Construction

Name of Project

Fayette County, Georgia

Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on _____, _____, 201__ in (city) _____, (state) _____

Signature of Authorized Officer or Agent

Printed Name and Title of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME

ON THIS THE _____ DAY OF _____, 201 _____.

NOTARY PUBLIC

My Commission Expires:

Invitation to Bid #1414-B: McCurry Park Restroom Construction

EXCEPTIONS TO SPECIFICATIONS

Please list below any exceptions or clarifications to the specifications of this bid. Explain any exceptions in full.

[illegible]

COMPANY NAME: _____

REFERENCES

ITB #1414-B: MCCURRY PARK RESTROOM CONSTRUCTION

Please list three (3) references for current or recent customers who can verify the quality of service your company provides. Projects of similar size and scope are preferable.

1. Government/Company Name _____

City & State _____

Work or Service Provided _____

Approximate Completion Date _____

Contact Person and Title _____

Phone _____ Email _____

2. Government/Company Name _____

City & State _____

Work or Service Provided _____

Approximate Completion Date _____

Contact Person and Title _____

Phone _____ Email _____

3. Government/Company Name _____

City & State _____

Work or Service Provided _____

Approximate Completion Date _____

Contact Person and Title _____

Phone _____ Email _____

COMPANY NAME _____

Survey – Communication of Opportunity to Quote, Bid, or Propose

(Please return this form with your response)

Solicitation Number: 1414-B

Solicitation Name: McCurry Park Restroom Construction

In order to serve you better, the Fayette County Purchasing Department is conducting a survey to determine the most effective ways to communicate with you and other vendors. Thank you for your assistance in collecting this information.

My company learned of this opportunity to do business with Fayette County, Georgia through:

- a) _____ Direct notification from the county (email, U.S. Mail, or other means)
- b) _____ Fayette County Website
- c) _____ Fayette News
- d) _____ Local Government Access Marketplace (www.glga.org)
- e) _____ Cable Channel 23
- f) _____ Greater Georgia Black Chamber of Commerce
- g) _____ Georgia Procurement Registry
- h) _____ Other: _____

Company Name: _____