# **PROPOSED PROJECT FOR:** Fayette County Jail Renovation 145 Johnson Ave, Fayetteville, GA 30214

## 09.27.2019 FOR PERMIT

#### OWNER

ANTHONY RHODES 145 Johnson Ave Fayetteville, GA 30214 PHONE: 770.716.4720 CONTACT:

#### ARCHITECT

#### Newnan, GA 30263 PHONE: 770.683.9170 CONTACT: jschlumper@kaod.com koldham@kaod.com

#### **GENERAL NOTES**

THE GC SHALL BE RESPONSABLE FOR FIELD VERIFTYING ALL DIMENSIONS AND CONDITIONS OF CONTRACT DOCUMENTS PRIOR TO ORDERING ALL MATERIALS AND PROCEEDING WITH THE WORK. THE GC IS TO NOTIFY THE ARCHITECT OF ALL DISCREPANCIES, AND QUESTIONS AND OBTAIN REQUIRED CLARIFICAITON PRIOR TO PROCEEDING WITH THE WORK.

DO NOT SCALE THE DRAWINGS. DIMENSIONS GOVERN.

ALL PLUMBING CHASES ARE TO BE VENTED INTO SOFFITS WHERE POSSIBLE AND REQUIRED WHERE UNVENTED SOFFITS ARE INDICATED, REFER TO ELEVATIONS FOR LOCATIONS.

4. GC SHALL PROVIDE AND INSTALL EQUIPMENT AND/OR APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. GC SHALL PROVIDE INSTALLATION OF OWNER FURNISHED EQUIPMENT AND/OR APPLIANCES WHERE DESIGNATED. GC TO VERIFY WITH OWNER ALL PLUMBING AND ELEC. REQUIREMENTS FOR OWNER FURNISHED EQUIPMENT AND/OR APPLIANCES.

GC TO UNDERCUT DOORS AS REQUIRED FOR FLOOR FINISHES, BUT NO MORE THAN CODE ALLOWS FOR RATING REQUIREMENTS. VERIFY ALL UNDERCUT LOCATION WITH ANY NOTED REQUIREMENTS. VERIFY ALL UNDERCUT LOCATION WITH ANY NOTED REQUIREMENTS PER MECHANICAL DRAWINGS.

PROVIDE BRACKING ABOVE GLAZED OPENING FRAMES, CEILING HEIGHT PARTITIONS WHEN LONG UNBRACED LENGTHS OCCUR AND AT ALL DOORS AND GLAZED OPENING JAMBS AND MULLIONS IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.

FLOOR TOLERANCEI IN LAYOUT OUT AND DETAILING THE WORK TO BE COMPLETED, CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE FLOOR LEVELNESS RESULTING FROM CONTRUCTION QUALITY AND LIVE/ DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATIONS SHALL BE MADE OF CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES. ALIGHMENT OF DOOR HEADS AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.

ALL WOOD USED AS STUDS, BLOCKING, OR BRACING SHALL BE FIRE TREATED AS REQUIRED BY CODE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY BLOCKING TO ACCOMMODATE INTERIOR FINISHES AND EQUIPMENT AS DESCRIBED IN THE DOCUMENTS.

"TYPICAL" MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

10. ALL HEIGHTS FOR HANDICAP ELEMENTS ARE TO BE IN ACCORDNACE WITH THE ADA FOR MAKING FACILITIES ACCESSIBLE AND USABLE FOR PHYSICALLY HANDICAPPED PEOPLE. THE GC IS RESPONSIBLE FOR COORDINATION AND PROPER INSTALLATION OF ALL RELATED ELEMENTS.

11. FURNISH ACCESS PANELS IN WALLS AND NON-ACCESSIBLE TYPE CEIINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT MAY BE REQUIRED. ACCESS PANELS SHALL BE EQUAL IN FIRE RATING TO SURFACE IN WHICH THEY OCCUR. REFER TO CONSULTANT DRAWINGS FOR ANY SPECIFIC REQUIREMENTS. FINAL LOCATIONS OF PANELS NOT SHOWN ON ARCHITECTURAL CEILING PLANS SHALL BE APPROVED BY THE ARCHITECT.

12. PROVIDE CONTROL HOINTS IN GYPSUM WALL BOARD SURFACES AS REQUIRED BY MANUFACTURERS SPECIFICATIONS.

13. ALL EXTERIOR LUMBER EXPOSED TO MOISTURE SHALL BE PRESSURE TREATED, UNLESS OTHERWISE SPEIFIED ON PLANS.

14. THE CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL AND ELECTRICAL ITEMS INDICATED ON ALL CONSTRUCTION DOCUMENTS. ALL ITEMS INDICATED ON ANY DRAWING ARE TO BE INCLUDED AS A COMPLETE SYSTEM.

15. WHERE ELECTRICAL, MECHANICAL, AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT AT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.

16. OWNER HAS FINAL APROVAL OF BUILDING MATERIALS, FINISH CHOICES, AND FIXTURE AND APPLIANCE CHOICES.

17. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING AND FOLLOWING MANUFACTURERS SPECIFICATIONS FOR ALL EQUIPMENT, MATERIALS, AND CONSTRUCTIONS SYSTEMS.

18. CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY STRUCTURE FOR WEATHERPROOFING, SECURITY, PRIVACY, AND SUPPORT.

-19.-----ALL ADVERSE CONDITIONS OF SITE AND BUILDING DISCOVERD DURING WORK MUST BE REPORTED TO THE OWNER/ARCHITECT IMMEDIATELY.

#### **GENERAL NOTES (CONT.)** 20. CONTRACTOR WILL BE RESPONSIBLE FOR THE DISPOSAL OF AL

CONSTRUCTION DEBRIS

23. CONTRACTOR MUST LOCATE AND MARK ALL EXISTING UTILITIES PRIOR TO

CONSTRUCTION AND/OR DEMOLITION.

24. ALL UTILITIES AND EQUIPMENT WILL BE TESTED AND PROVED IN WORKING ORDER BEFORE JOB IS DEEMED COMPLETE.

25. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF GOVERNING FEDERAL, STATE, AND LOCAL CODES.

26. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING, AND/OR CIVIL INFORMATION NOT INCLUDED IN THE FINAL DRAWINGS.

27. PARTITIONS ARE DIMENSIONED TO FACE OF STUD UNLESS NOTED OTHERWISE. DIMENSIONS SHOWN ON DRAWINGS SHALL BE CONSIDERED CRITICAL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACT TO NOTIFY THE ARCHITECT OF DEVIATIONS IN THE PLACEMENT OF WORK PER THESE DIMENSIONS.

28. SEPARATE DISSIMILAR METALS AS DIRECTED TO PREVENT GALVANIC ACTION.

29. THE DRAWINGS ILLUSTRATE GENERAL WORK SCOPE REQUIREMENTS AND DO NOT ELABORATE ON INSTALLATION TECHNIQUES. WORK PERFORMED SHALL MEET OR EXCEED INDUSTRY STANDARDS, BE PERFORMED IN ACCORDANCE WITH MANUFACTURES RECOMMENDATIONS, AND SHALL CONFORM TO ALL APPLICABLE BUILDING CODES.

30. REFER TO INDIVIDUAL SHEETS FOR NOTES RELATED TO SPECIFIC PARTS OF THE WORK.

31. COORDINATE ALL PLACEMENT AND SIZING OF STEEL MEMBERS & STRUCTURAL COMPONENTS W/ STRUCTURAL DRAWINGS.

32. SPRINKLER AND ALARM MODIFICATIONS TO BE REVIEWED AND APPROVED BY CITY OF NEWNAN FIRE MARSHAL.

KIP OLDHAM 75 Jackson St, Suite 401 **PROJECT MANAGER** TIM SYMONDS

tims@morganmillconsulting.com

412 Morgan Mill Rd

PHONE: 404.392.5791

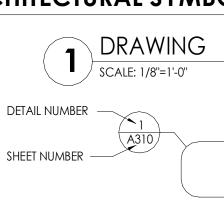
Brooks, GA 30205

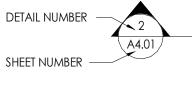
CONTACT:

21. ALL MATERIALS STORED ON SITE MUST BE SECURED BY CONTRACTOR.

22. ALL MATERIALS STORED OFF SITE SHALL BE STORED IN A BONDED WAREHOUSE

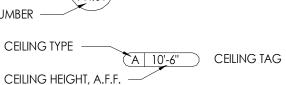
## **ARCHITECTURAL SYMBOLS**

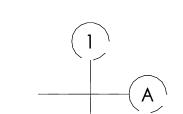




CEILING TYPI

SECTION SYMBOL



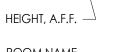


COLUMN GRID

DRAWING TITLE

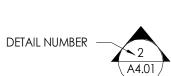
DETAIL/CALL-OUT SYMBOL

ELEVATION TAG



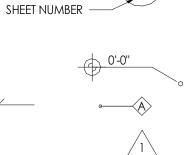
ROOM NAME -CHILDRENS

ROOM NUMBER -

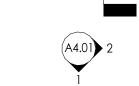




**ROOM TAG** 



IC



(113)

 $\langle \mathsf{A} \rangle$ 

**DIMENSION LINE -**FROM FACE OF STUD TO CENTERLINE OF COLUMN

1' - 0''

1' - 0"

DIMENSION LINE -

TO FACE OF STUD

FROM FACE OF STUD

SPOT ELEVATION WALL TYPE **REVISION TAG** KEYNOTE TAG

EXTERIOR ELEVATION

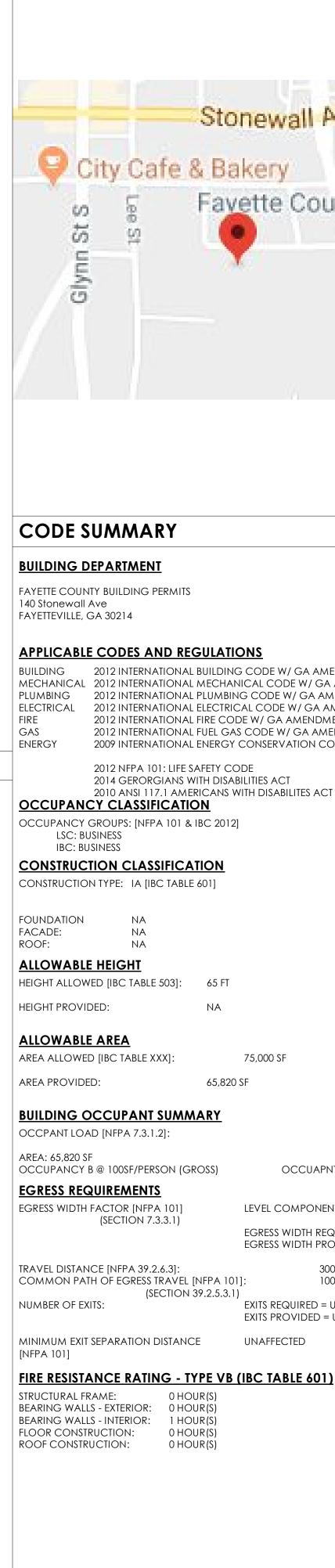
**RR ACCESSORY TAG CHANGE IN** ELEVATION

INTERIOR ELEVATION

DOOR TAG

WINDOW TYPE

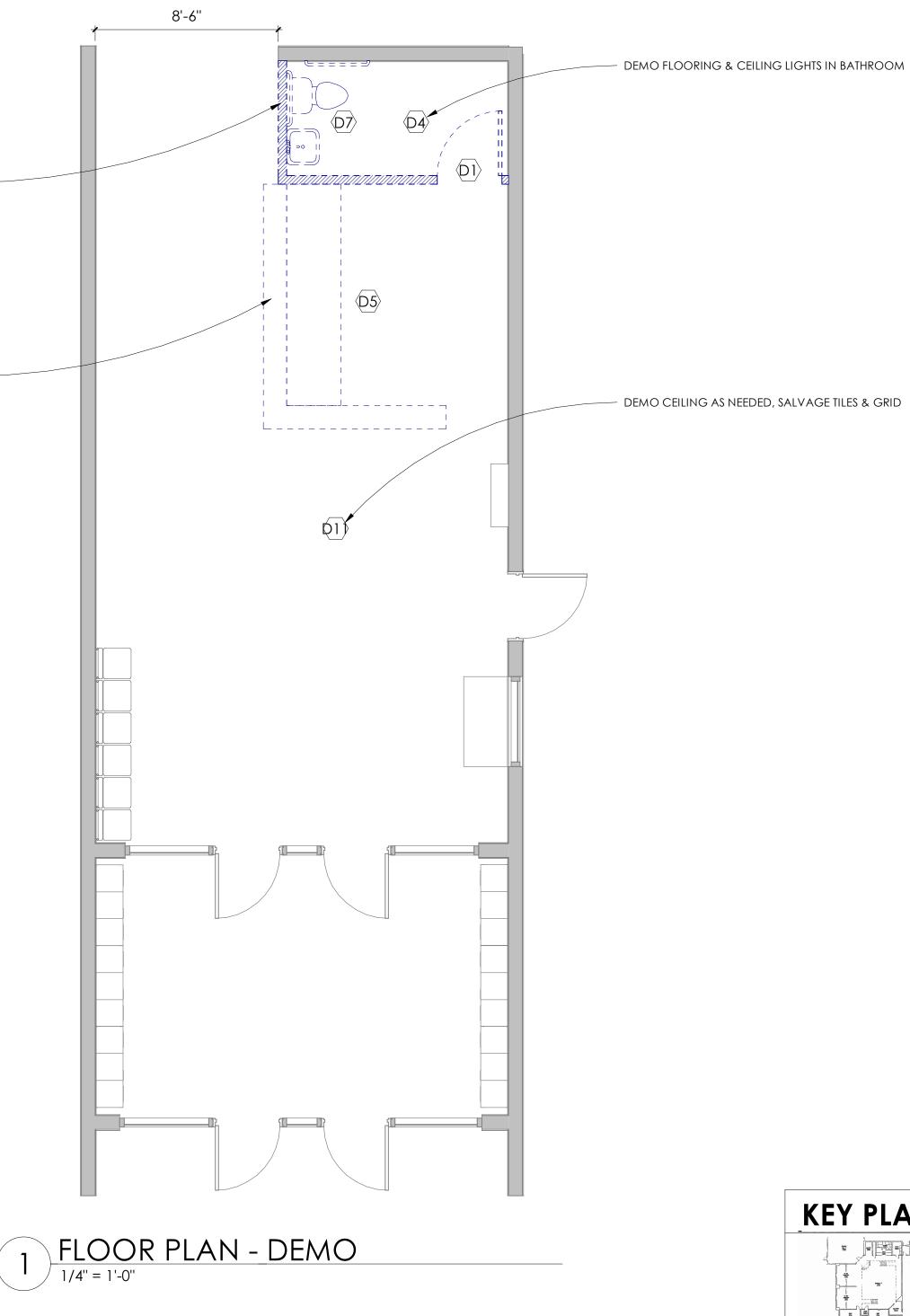
#### LOCATION MAP

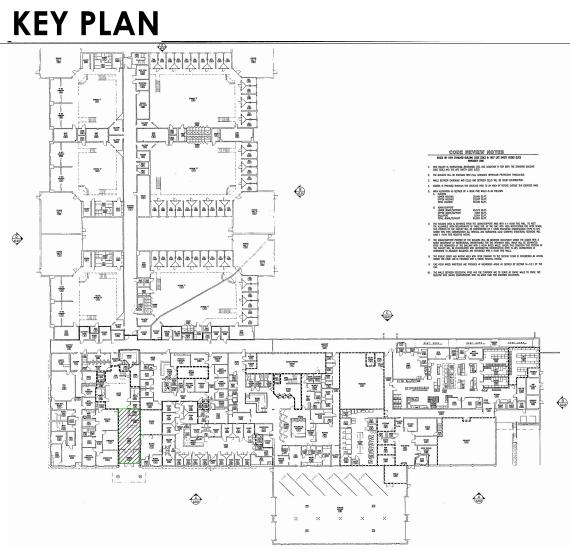


	DRAW	ING INDE	X				
AVEE	SHEET #		SHEET NAME	08-29-2019 SCHEMATIC DESIGN	09-12-2019 CD SET	01-22-2020 REVISION	architecture interiors town planning
AVE	T001	GENERAL TITLESHEET					
		ARCHITECTUR	AL				
ounty Jail	D001 LS001 A101	DEMO PLAN LIFE SAFETY PLAN FLOOR PLAN				•	KAOD
	A201 A301	REFLECTED CEILIN BUILDING SECTION			•	-	K A Oldham Design, Inc
	A401	WALL SECTIONS					75 Jackson st., suite 401 Newnan, Georgia 30263 Telephone: (770) 683-9170 Fax: (770) 683- 9171 E-Mail: info@kaod.com Web Site: www.kaod.com PRINTED DATE COMMENTS 08-29-2019 SCHEMATIC DESIGN
							09-27-2017 SCHEMATIC DESIGN 09-27-2019 FOR PERMIT
Amendments GA Amendments A Amendments A Amendments Ndments Amendments A Code W/ GA Amendments							This drawing is property of K.A. Oldham Design, Inc and may not be reproduced or used without the Architect's written permission. (c) 2019
APNT LOAD: 659 PEOPLE DNENTS= 0.2"/ PERSON REQURED= 13.18" (36 MIN) PROVIDED= 540" 300'-0" 100'-0" D = UNAFFECTED							Fayette County Jail Renovation 145 Johnson Ave, Fayetteville, GA 30214
D = UNAFFECTED							Frepared for Fayette County Sheriff's Office
						-	COMMISSION NO:
							1960.00
						_	SHEET TITLE: TITLE SHEET
						-	SHEET NO:
							<b>TOO1</b> NOT ISSUED FOR CONSTRUCTION

DEMO EXISTING BATHROOM WALLS, DOOR FRAME & PLUMBING FIXTURES

DEMO EXISTING MILLWORK, IT, & POWER CONNECTED TO DESK





## **DEMOLITION NOTES**

DEMOLITION WORK SHOWN IS ASSUMED TO BE CORRECT BASED ON EXISTING DRAWINGS AND INSPECTIONS. REFERENCE WAS GIVEN TO SHOW AS MANY SURVEYED ITEMS AS POSSIBLE TO ASSIST THE GC IN UNDERSTANDING THE DEMOLITION SCOPE. DEMOLITION DRAWINGS ARE NOT INTENDED TO REFLECT ALL CONDITIONS. GC IS RESPONSIBLE FOR PERFORMING THE INDICATED DEMOLITION WORK EVEN IF ACTUAL CONDITIONS DIFFER FROM WORK SHOWN ON DRAWINGS.

RELAY ALL CONFLICTS DETERMINED DURING THE COURSE OF BIDDING AND CONSTRUCTION IMMEDIATELY TO THE ARCHITECT IN WRITING.

3. ALL CONSTRUCTION ITEMS SHOWN DASHED AND ITEMS ATTACHED WITHIN THE CONSTRUCTION OF EACH ITEM ARE TO BE DEMOLISHED AND REMOVED FROM THE SITE.

4. ASBESTOS/HAZARDOUS MATERIALS: IF DURING THE COURSE OF DEMOLITION, QUESTIONS ARISE REGARDING THE POSSIBLE PRESENCE OF UNKNOWN HAZARDOUS MATERIALS, THE GC SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.

5. VERIFY ALL PLUMBING INVERTS AND ALL EXISTING UTILITY LOCATIONS PRIOR TO THE START OF DEMOLITION, INCLUDING UNDERGROUND AND OVERHEAD LINES. UTILITIES MAY REQUIRE RELOCATION TO AVOID CONFLICT WITH NEW CONSTRUCTION.

6. ABANDON EXISTING PLUMBING BELOW FLOOR AND CAP 6" BELOW SLAB. FULLY REMOVE ANY PLUMBING IN AREAS WHERE FLOOR IS TO BE COMPLETELY REMOVED.

7. ANY UTILITY SYSTEMS REQUIRED TO REMAIN ACTIVE DURING THE COURSE OF NEW WORK SHALL REMAIN ACTIVE. IF CIRCUMSTANCES REQUIRE THE TEMPORARY INTERRUPTION OF ANY UTILITIES, THE GC SHALL NOTIFY, COORDINATE, AND RECEIVE PRIOR PERMISSION BEFORE ANY SHUTDOWN OF SERVICES.

8. UNLESS OTHERWISE NOTED, DOORS SCHEDULED TO BE REMOVED SHALL INCLUDE THE DOOR, FRAME, AND HARDWARE.

PROTECT ALL WALLS, CEILINGS, FLOORS, AND 9 STRUCTURAL COMPONENTS TO REMAIN FROM DAMAGE DURING DEMOLITION. GC SHALL REPLACE ANY ITEMS DAMAGED DURING CONSTRUCTION TO A FINISH AND MATERIAL QUALITY NOT LESS THAN EXISTING ADJACENT REMAINING WORK.

10. PRIOR TO CUTTING, DRILLING, OR AFFECTING ANY EXISTING STRUCTURAL MEMBERS NOT INDICATED, GC SHALL SUBMIT NOTIFICATION TO THE OWNER, SPECIFYING LOCATION AND REQUESTING CONSENT TO PROCEED WITH THE CUTTING OR DRILLING.

11. PROVIDE TEMPORARY PROTECTION AS NECESSARY TO SEAL BUILDING FROM THE ELEMENTS AND MAINTAIN BUILDING SECURITY WHERE DEMOLITION IS INDICATED. NOTIFY THE ARCHITECT IN WRITING IF CERTAIN CONDITIONS REQUIRE EXISTING ELEMENTS TO REMAIN EXPOSED FOR LONG PERIODS OF TIME.

12. ALL MATERIAL SHOWN TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF OFF-SITE IN A TIMELY MANNER. GC SHALL NOT STOCKPILE DEMOLISHED MATERIALS ON SITE.

13. THE OWNER RESERVES THE RIGHT TO SALVAGE ANY ITEM WHETHER SHOWN ON DEMOLITION DRAWINGS OR NOT. AREAS TO BE DEMOLISHED SHALL BE SURVEYED BY THE OWNER AND THE OWNER SHALL SUPPLY A WRITTEN LIST OF ITEMS FOR SALVAGE NOT ALREADY SHOWN ON THE CONSTRUCTION DRAWINGS. THE GC SHALL BE RESPONSIBLE FOR THE REMOVAL, COLLECTION, AND SERRATION AS REQUIRED FOR SALVAGING, AND SHALL STORE ITEMS IN LOCATIONS AS DIRECTED BY THE OWNER.

14. GC IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY.

15. DEMO ANY ASSOCIATED PLUMBING, HVAC & ELECTRICAL REQUIRED TO ACCOMPLISH INTENDED FINAL PLANS.

#### **DEMOLITION LEGEND**

- - - EXTENTS TO BE DEMOLISHED FROM TOP OF - ---- SLAB TO TOP OF PARTITION. LIMIT DEMO TO PART OF WALL OR ELEMENT DIMENSIONS INDICATE

- $\langle D1 \rangle$ EXISTING DOOR AND FRAME TO BE REMOVED
- $\langle D2 \rangle$ EXISTING WINDOWS TO BE REMOVED
- **D**3 EXISTING PTAC'S TO BE REMOVED
- $\langle D4 \rangle$ EXISTING FLOORING MATERIAL TO BE REMOVED
- (D5) EXISTING MILLWORK TO BE REMOVED
- $\langle D6 \rangle$ EXISTING FURNITURE TO BE REMOVED
- $\langle D7 \rangle$ EXISTING PLUMBING FIXTURES TO BE REMOVED
- (D8) EXISTING WINDOW TO BE REMOVED
- D9 EXISTING PHONE TO BE SALVAGED
- Ø10 EXISTING LIGHT FIXTURES TO BE REMOVED
- EXISTING CEILING TO BE DEMOED TO BOTTOM OF TRUSS Q1)

#### chitecture teriors own planning



14 E ast Washington Street Newnan, Georgia 30263 Telephone: (770) 683-9170 Fax: (770) 683- 9171 E-Mail: info@kaod.com Web Site: www.kaod.com

PRINTED	
DATE	COMMENTS
08-29-2019	SCHEMATIC DESIGN SET
09-27-2019	FOR PERMIT
	L

This drawing is property of K.A. Oldham Design, Inc and may not be reproduced or used without the Architect's written permission. (c) 2019

#### Fayette County **Jail Renovation**

145 Johnson Ave, Fayetteville, GA 30214

#### Prepared for

#### Fayette County Sheriff's Office

COMMISSION	NO

1960.00

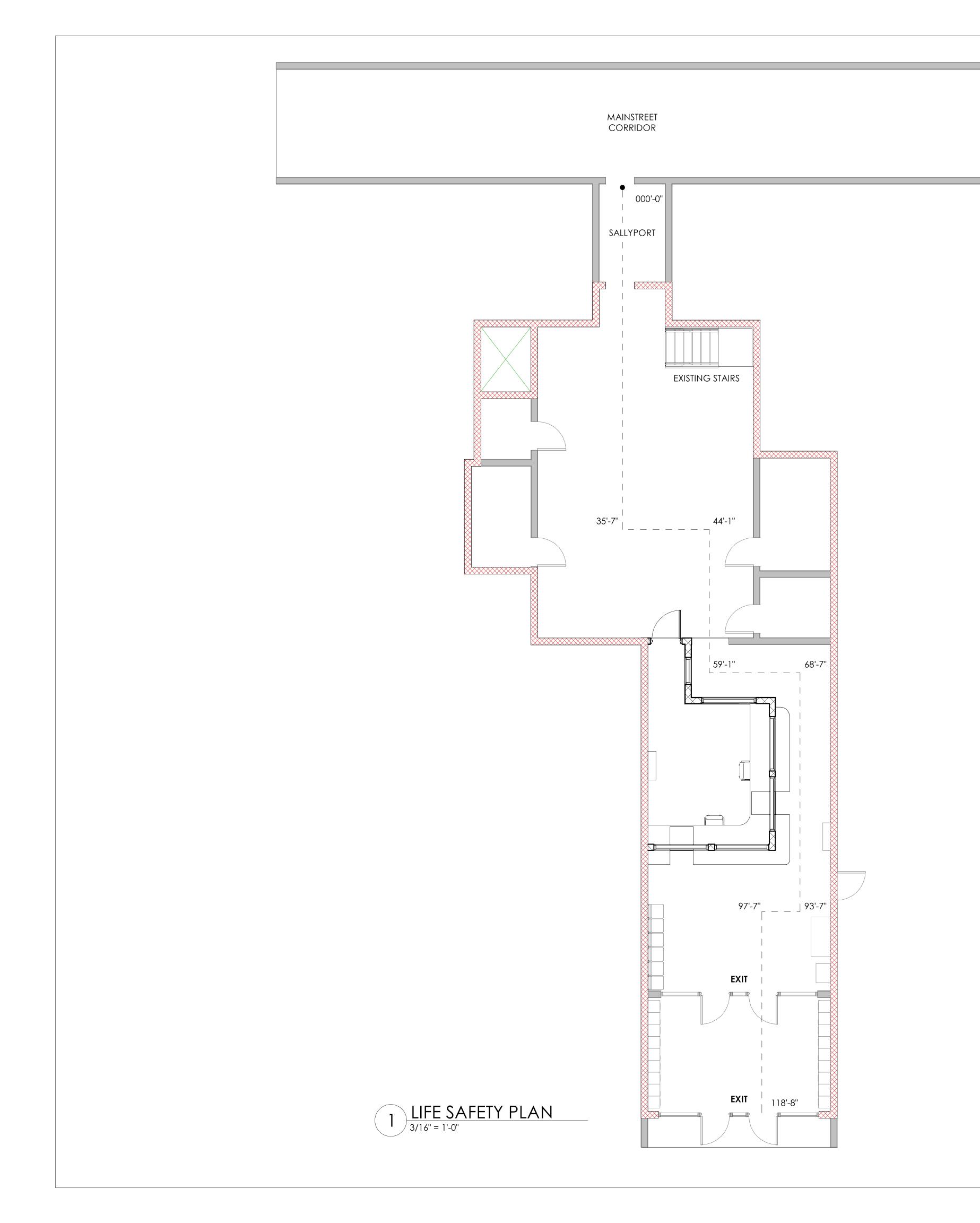
SHEET TITLE:

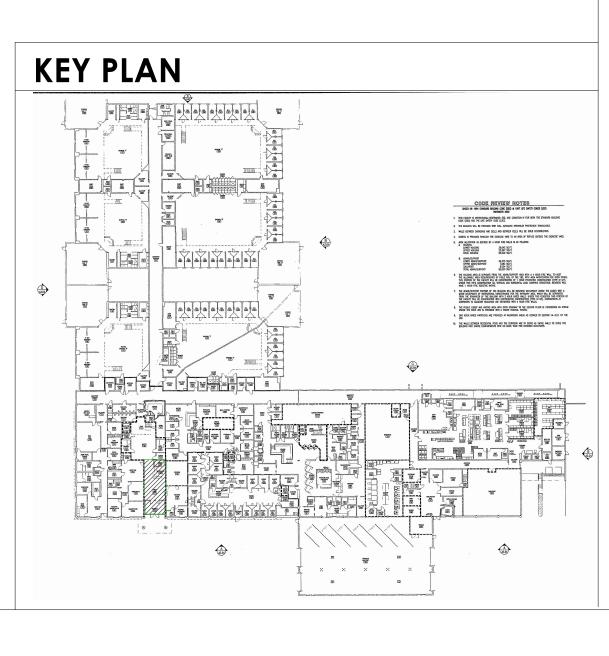
DEMO PLAN

SHEET NO:

**D001** NOT ISSUED FOR CONSTRUCTION







#### EGRESS REQUIREMENTS

EGRESS WIDTH FACTOR (NFPA 101 TABLE 7.3.3.1):

LEVEL COMPONENTS = 0.2" PER PERSON EGRESS WIDTH REQUIRED = 13.18" (36" MIN) EGRESS WIDTH PROVIDED = 540"

TRAVEL DISTANCE (NFPA 101): COMMON PATH OF EGRESS TRAVEL (NFPA 101): DEAD-END CORRIDOR (NFPA 101)

EGRESS PATH OF TRAVEL AGGREGATE LENGTH OF TRAVEL 000'-0'' EXIT EMERGENCY EXIT LIGHT

1-HR RATED ASSEMBLY (UL-305)

Web Site: www.kaod.com

Fax: (770) 683- 9171 E-Mail: info@kaod.com

14 E ast Washington Street Newnan, Georgia 30263 Telephone: (770) 683-9170

K A Oldham Design, Inc

rchitecture

town planning

nteriors

PRINTED	
DATE	COMMENTS
08-29-2019	SCHEMATIC DESIGN SET
09-27-2019	FOR PERMIT
is drawing is pro	pperty of K.A. Oldham Design,

Inc and may not be reproduced or used without the Architect's written permission. (c) 2019



145 Johnson Ave, Fayetteville, GA 30214

Prepared for

## Fayette County Sheriff's Office

COMMISSION NO:

1960.00

SHEET TITLE: LIFE SAFETY PLAN

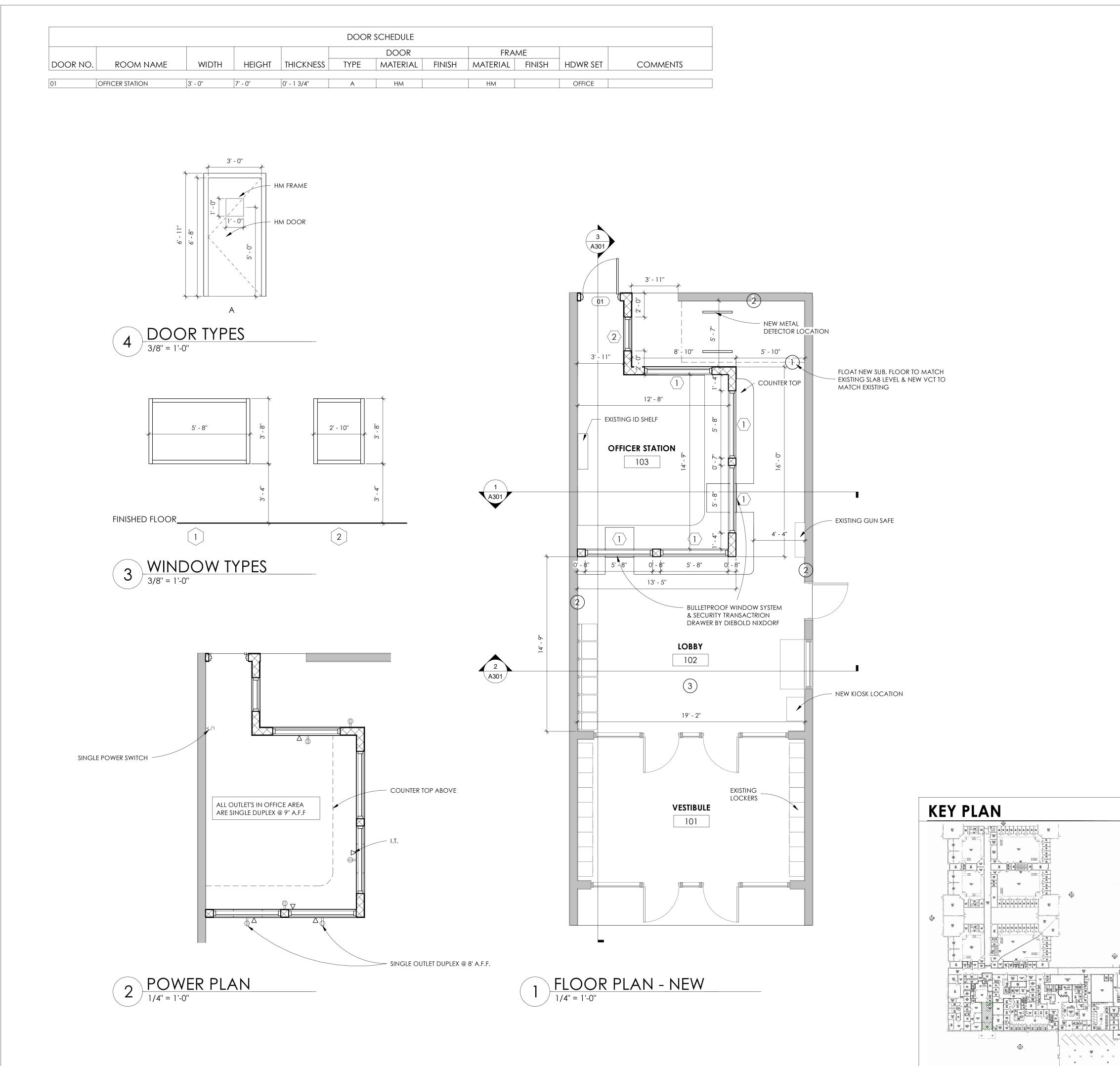
SHEET NO:

**LS001** NOT ISSUED FOR CONSTRUCTION



300'-0'' 118'-8"

NA



FRA	ME		
RIAL	FINISH	HDWR SET	COMMENTS
		OFFICE	

### FLOOR PLAN NOTES

1. ALL PARTITIONS ARE TYPE 'A' UNLESS OTHERWISE NOTED

dimensions shown are to face of studs. Noted CLEAR DIMENSIONS ARE TO FINISHED FACE OF WALLS. DIMENSIONS ARE TO FINISHED FACE FOR EXISTING WALLS.

3. DOORS NOT LOCATED BY DIMENSIONS ON PLANS SHALL BE 4" FROM FACE OF ADJOINING PARTITION TO HINGE EDGE OF DOOR OPENING. VERIFY DOORS WILL HAVE 18" CLEAR ON THE PULL SIDE AND 12" CLEAR ON THE PUSH SIDE, PER ADA REQUIREMENTS. NOTIFY ARCHITECT IF REQUIRED CLEARANCES ARE NOT AVAILABLE.

4. REFER TO A101 FOR PARTITION SCHEDULE. ALL WALLS ARE TYPE "A" CONSTRUCTION UNLESS OTHERWISE NOTED.

5. REFER TO PLUMBING DRAWINGS FOR INFORMATION OF PLUMBING FIXTURES.

6. CONTRACTOR TO LAYOUT ALL WALL LOCATIONS AND OPENINGS TO DISCOVER ANY CONFLICTS FOR RESOLUTION WITH THE ARCHITECT PRIOR TO STARTING WALL CONSTRUCTION. FIELD VERIFY ALL DIMENSIONS.

7. PROVIDE ALL NECESSARY WOOD BLOCKING IN FRAMING LOCATIONS AT ALL WALL HUNG FURNITURE AND EQUIPMENT TO INCLUDE, BUT NOT LIMITED TO, GRAB BARS, HANDRAILS, CASEWORK, MARKER BOARDS AND ALL RESTROOM ACCESSORIES.

#### **FINISH NOTES**

- (1)FLOORING CHANGE AT DEMO
- 2 PAINT EXISTING WALLS

CODE REVIEW NOTES HED IN THIS SWEAK BELINK CODE (AL) INFO DE SHET CODE (US) HED IN THIS SHE DE SHET COL (US) INFO DE SHE COL COL (DE) AN IN UE SHET COL (US)

used and is strange from the administration and with a 4 hole from well. To wait ownell and recomputers of table 500, of the 580, with and additional for OPES for this table construction and additional from projection construction (or the in-un-tions doe construction and all vertical and receipting load construction (or the addi-tions doe construction and all vertical and receipting load construction (or addi-tions doe construction and all vertical and receipting load construction (or addi-tions doe construction) and the strategy of the strategy of

Demonstration of demonstration postantial and a start with the final start and the start and the back the cost with a final mark with the start start with a figure start and the back the cost with a final mark with the start start and the start and the later than which instrations are menorical an indeneous and as comes by start and the later start water instrations are menorical an indeneous and as comes by start and the start and the start and the cost and with a start and the start and starts and start and the start and the later and starts.

NODIG ISMRI NOLISIO 31,042 50 FL IPPER NOLISIO 22,917 50,FL ISTRE NOLISIIG 52,039 50,FL ACAIN/SLIPPOST 49,373 50,77. LINER ADAV/SLIPPOST 49,373 50,77. LINER ADAV/SLIPPOST 8,353 50,77. SLIPPOST 8,354 50,77. TEEL ADAV/SLIPPOST 85,000 50,77.

(A)

3 NEW VCT AT ALL FLOORS

chitecture nteriors own planning



14 E ast Washington Street Newnan, Georgia 30263 Telephone: (770) 683-9170 Fax: (770) 683- 9171 E-Mail: info@kaod.com Web Site: www.kaod.com

Ρ	R	11	7	Т	E	D
	• •		•		-	~

FRINILD	
DATE	Comments
08-29-2019	SCHEMATIC DESIGN SET
09-27-2019	FOR PERMIT

This drawing is property of K.A. Oldham Design, Inc and may not be reproduced or used without the Architect's written permission. (c) 2019

#### Fayette County **Jail Renovation**

145 Johnson Ave, Fayetteville, GA 30214

Prepared for

## Fayette County Sheriff's Office

COMMISSION NO:

1960.00

SHEET TITLE:

FLOOR PLAN

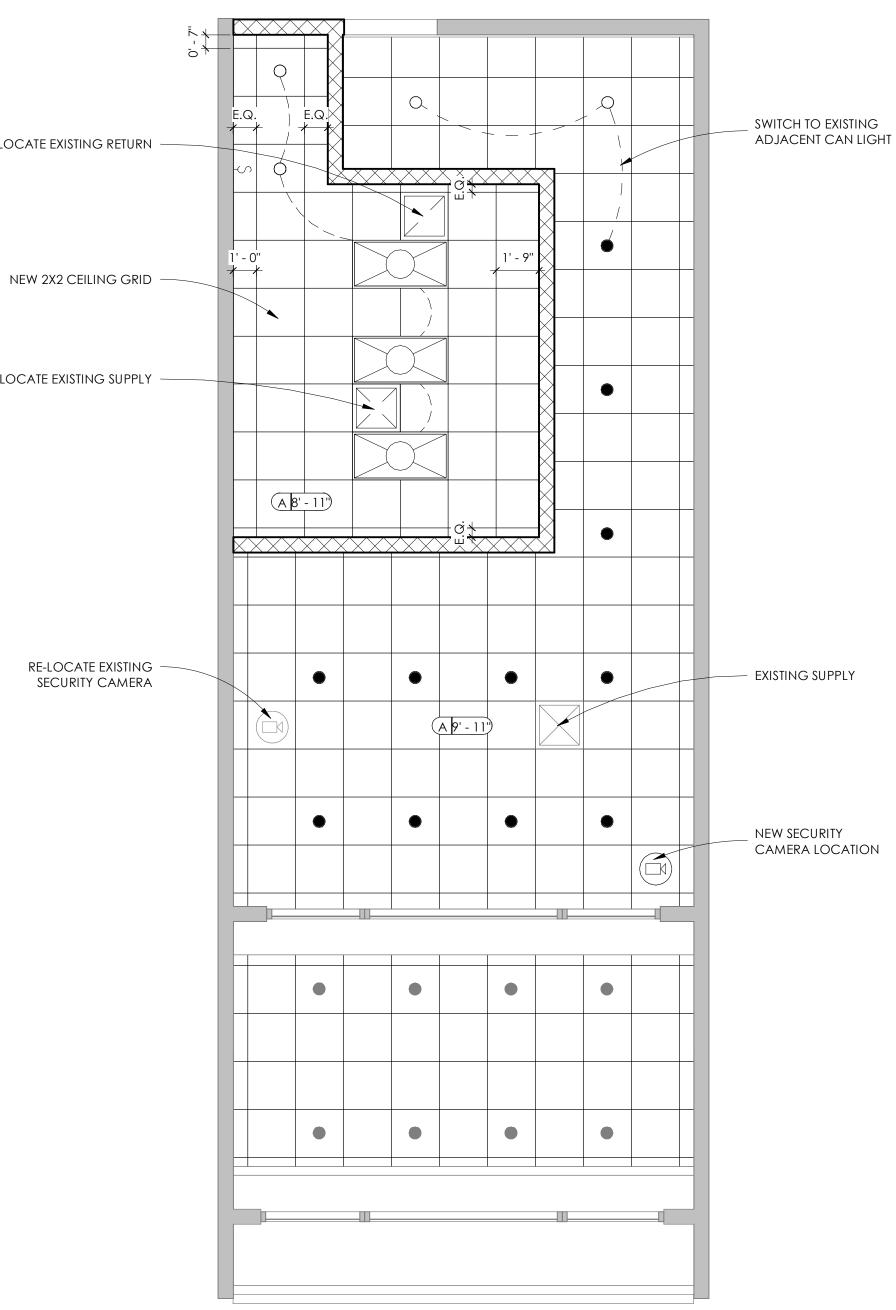
SHEET NO:

A101 NOT ISSUED FOR CONSTRUCTION

RE-LOCATE EXISTING RETURN -

RE-LOCATE EXISTING SUPPLY

RE-LOCATE EXISTING SECURITY CAMERA



1 RCP - NEW

**KEY PLAN** == 0 0 

### **CEILING NOTES**

1. \*\* ALL CEILINGS ARE TYPE "A" (8'-11") TYPICAL, UNLESS OTHERWISE NOTED\*\*

2. LIGHTING AND HVAC COMPONENTS SHOWN IN CEILING PLAN ARE FOR LOCATION AND DIMENSIONAL PURPOSES ONLY. REFER TO CONSULTANT DRAWINGS FOR FULL EXTENT. NOTIFY ARCHITECT OF ANY DISCREPENCIES BETWEEN ARCHITECTURAL AND ENGINEERED DRAWINGS.

3. COORDINATE ALL CEILING OPENINGS WITH ELECRTRICAL and mechanical drawings

4. DO NOT ATTACH PARTITION OR CEILING SYSTEMS TO PORTIONS OF ANY MECHANICAL EQUIPTMENT. CONTRACTOR TO COORDINATE LOCATIONS AND PROVIDE ALTERNATE BRACING IF CONFLICTS OCCUR.

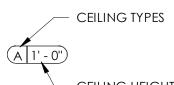
5. COORDINATE HEIGHTS OF SUSPENDED LIGHTING, OR SUSPENDED OR WALL MOUNTED HVAC COMPONENTS WITH ARCHITECT IF NOT PROVIDED IN DRAWINGS.

6. COORDINATE AND FIELD VERIFY CLEARANCES FOR ALL EQUIPTMENT TO BE LOCATED ABOVE CEILING.

7. DIMENSIONS ARE TO FACE OF FINISHED SURFACE, UNLESS NOTED OTHERWISE.

8. SPRINKLER HEADS MUST TAKE PRIORITY AND SHOULD BE COORDINATED PRIOR TO INSTALLATION

## **CEILING MATERIAL LEGEND**



- CEILING HEIGHT A.F.F. TAG DESCRIPTION 2X2 ACOUSTICAL CEILING GRID SYSTEM А

#### LIGHTING LEGEND

0	NEW 6" SURFACE MOUNTED LIGHT
	EXISTING 6" SURFACE MOUNTED LIGHT
	2X2 SURFACE MOUNTED FLOURESCENT
	2X4 SURFACE MOUNTED LED LIGHT FIXTURE
	RETURN REGISTER
	SUPPLY DIFFUSER
Ş	SINGLE SWITCH

rchitecture nteriors own planning



14 E ast Washington Street Newnan, Georgia 30263 Telephone: (770) 683-9170 Fax: (770) 683- 9171 E-Mail: info@kaod.com Web Site: www.kaod.com

DATE	COMMENTS
08-29-2019	SCHEMATIC DESIGN SET
09-27-2019	FOR PERMIT
is drawing is pr	pperty of K.A. Oldham Design,



145 Johnson Ave, Fayetteville, GA 30214

Prepared for

## Fayette County Sheriff's Office

COMMISSION NO:

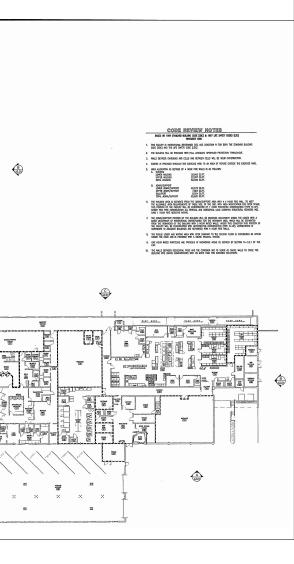
1960.00

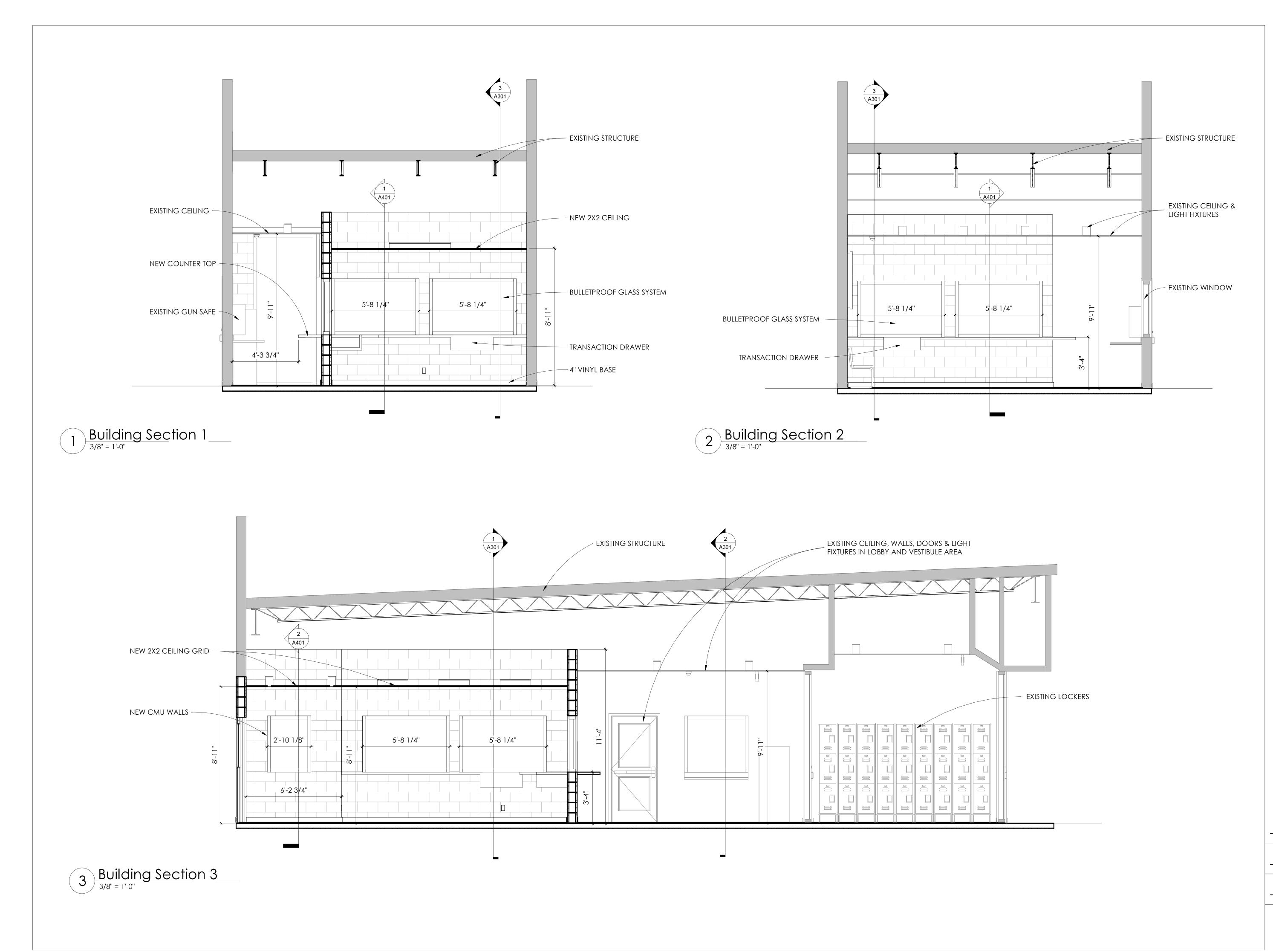
SHEET TITLE:

**REFLECTED CEILING PLAN** 

SHEET NO:

A201 NOT ISSUED FOR CONSTRUCTION





rchitecture nteriors own planning K A Oldham Design, Inc 14 E ast Washington Street Newnan, Georgia 30263 Telephone: (770) 683-9170 Fax: (770) 683- 9171 E-Mail: info@kaod.com Web Site: www.kaod.com PRINTED DATE COMMENTS 08-29-2019 SCHEMATIC DESIGN SET 09-27-2019 FOR PERMIT ----------\_\_\_\_\_ -----\_\_\_\_\_ \_\_\_\_\_ -----\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_

This drawing is property of K.A. Oldham Design, Inc and may not be reproduced or used without the Architect's written permission. (c) 2019

#### Fayette County Jail Renovation

145 Johnson Ave, Fayetteville, GA 30214

Prepared for

### Fayette County Sheriff's Office

COMMISSION NO:

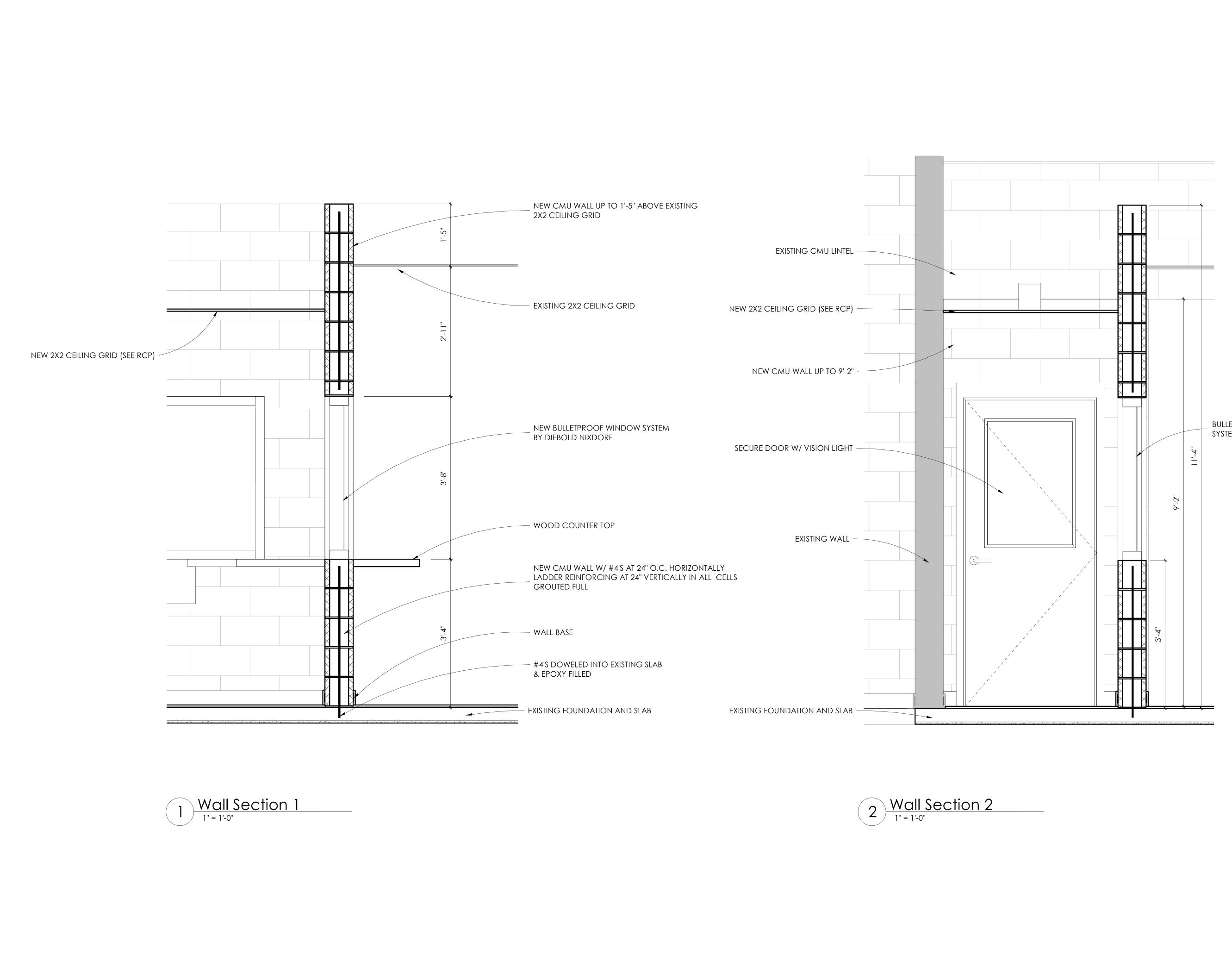
1960.00

SHEET TITLE:

**BUILDING SECTIONS** 

SHEET NO:





\_ BULLETPROOF WINDOW SYSTEM BY DIEFOLD NIXDORF



rchitecture nteriors

town planning

08-29-2019 SCHEMATIC DESIGN SET
09-27-2019 FOR PERMIT

This drawing is property of K.A. Oldham Design, Inc and may not be reproduced or used without the Architect's written permission. (c) 2019

Fayette County Jail Renovation

145 Johnson Ave, Fayetteville, GA 30214

Prepared for

### Fayette County Sheriff's Office

COMMISSION NO:

1960.00

SHEET TITLE:

WALL SECTIONS

SHEET NO:

A401 NOT ISSUED FOR CONSTRUCTION